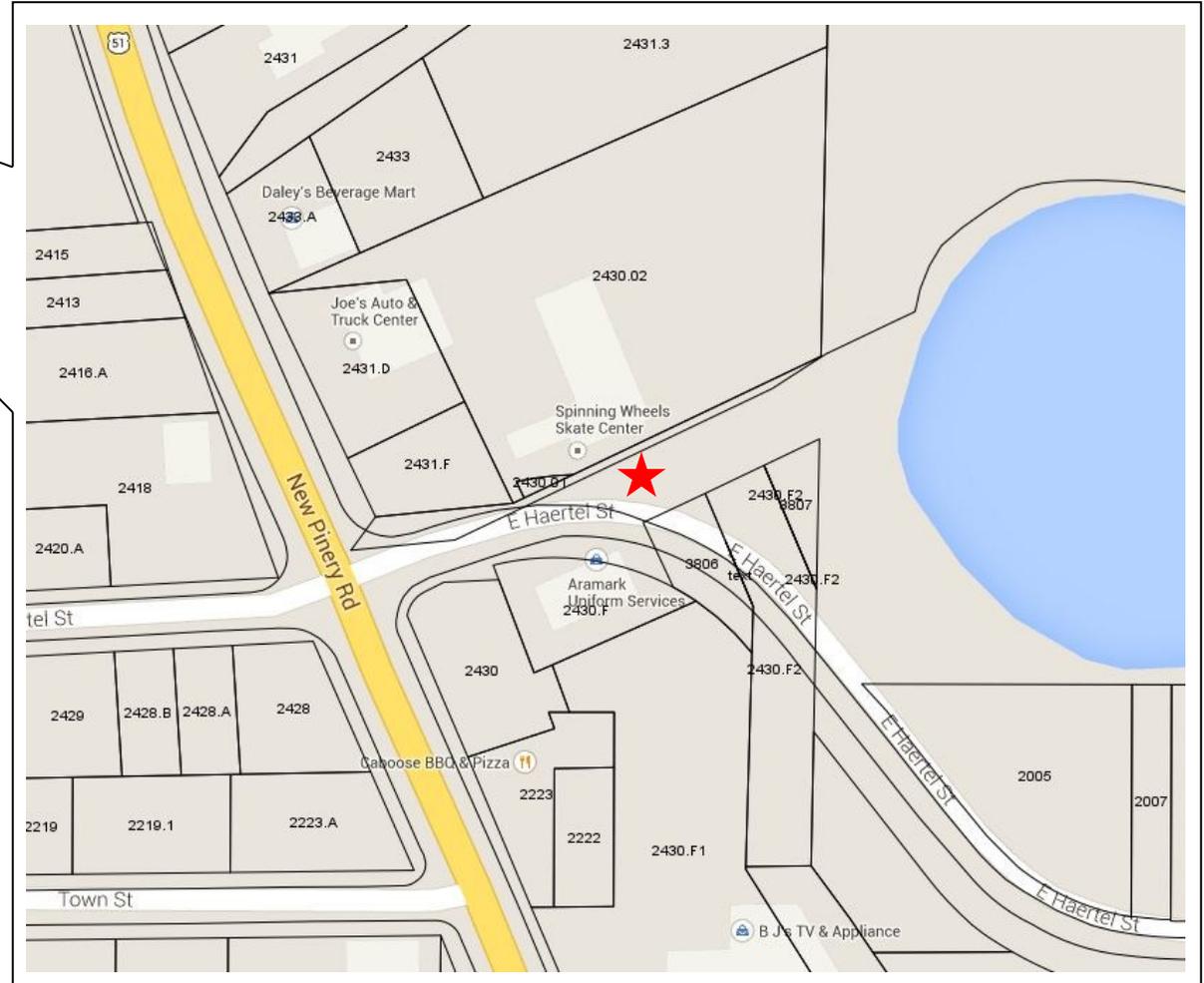
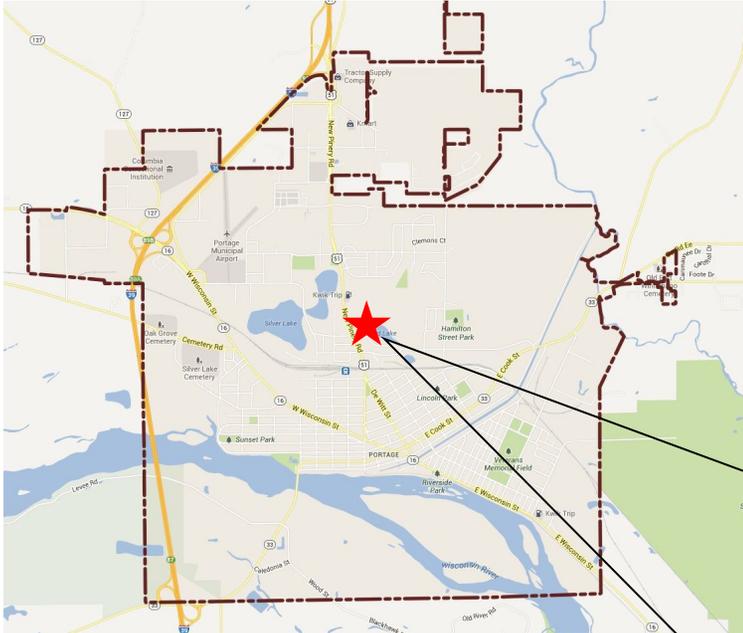




NTS

# CITY OF PORTAGE, WI

*City of Refuge Church*  
*111 E. Skater's Way*



**CITY OF PORTAGE**

115 West Pleasant Street  
Portage, Wisconsin 53901  
Telephone: (608) 742-2176 • Fax: (608) 742-8623



*'Where the North Begins'*

# CITY OF PORTAGE

115 West Pleasant Street  
Portage, Wisconsin 53901  
Telephone: (608) 742-2176 • Fax: (608) 742-8623



*"Where the North Begins"*

## NOTICE OF PUBLIC HEARING

**PLEASE TAKE NOTICE** that the Planning Commission of the City of Portage, Wisconsin will consider the granting of a Conditional Use Permit to City of Refuge Church for parcel 2430.02; 111 E. Skaters Way, City of Portage, Columbia County, Wisconsin.

**A PUBLIC HEARING** on the request for a Conditional Use Permit for a Church or Ministry Facility in a B4 Zoning District Under ordinance 90-36 (2) will be considered at the Municipal Building in Portage, Columbia County, Wisconsin on Monday, July 20, 2015 at 6:20 p.m.

**ALL INTERESTED PERSONS** may appear in person or by their agent for the purpose of offering proof in support of their position, opposing or endorsing the granting of this Conditional Use Permit to said property.

**DATED** this 19<sup>th</sup> of June, 2015.

By \_\_\_\_\_  
Robert G. Redelings, P.E.  
Director of Public Works

**PLEASE PUBLISH**

July 6, 2015  
July 13, 2015

"I would like to call this public hearing before the Plan Commission to order. This hearing is being held in accordance with Section 62.23(7)(d) of the Wisconsin Statutes, to consider actions or amendments relating to Chapter 90 of the City of Portage Code of Ordinances governing Zoning."

"I would like to introduce committee members present:

Mayor Bill Tierney-Chair  
Mike Charles  
Robert Redelings  
Jan Bauman  
Brian Zirbes- Vice Chair  
Pete Tofson  
Carolyn Hamre

"Staff present are:

Bob Redelings-Director of Public Works  
Steve Sobiek- Director of Business Development/Planning  
Shawn Murphy-City Administrator."

"The following procedures will govern these proceedings:

- The Commission will hear the petition as it is printed in the agenda.
- I will open the petition's Public Hearing and then ask staff to provide a brief explanation of the item. I will then ask the petitioner or their agent if there is anything they wish to add to the staff explanation of their proposal, after which the Commission may ask questions of staff or petitioner.
- We will then give any interested parties in favor of the petition the opportunity to be heard. The chair will then give parties wishing to object to the petition an opportunity to be heard.
- The petitioner will then be given the opportunity to respond to questions or request for clarification(s) in the application, if they desire
- The Commission will debate and make its decision after the public hearing is closed and as the petition appears on the meeting agenda."

"In regard to petition for Conditional Use permit, please note the committee's decision on the Conditional Use Permit is a decision solely of the Commission. It does not go to the City Council. The decision of the Commission is final."

'FINALLY, THERE WILL BE NO DEBATE ON THE FLOOR. ALL QUESTIONS PERTAINING TO THE PETITION WILL BE DIRECTED TO THE CHAIR. Anyone wishing to speak will approach the chair and for the record provide their full name and address.'

"We are now ready to begin the hearing- I declare the public hearing to be open.

It is a Conditional Use Request for a Ministry Facility to City of Refuge Church on parcel 2430.02 at 111 Skater's Way, Portage, Wisconsin; Reverend Justin J.O. Boyle, petitioner. Staff will begin the hearing with their report.

- A. Is the petitioner present? Do you have anything you wish to add to the staff report?
- B. Is there anyone here who would like to speak in favor of the petition? (3 times)
- C. Is there anyone here who would like to speak against the petition? (3 times)
- D. Does the petitioner wish to offer any response to questions or clarifying comments?
- E. I declare this public hearing closed!"

## Staff Report

On Conditional Use permit (CUP) for City of Refuge Church for a church/ministry facility on parcel 2430.02; 111 Skaters Way, Portage, Wisconsin.

The applicant is seeking a conditional use permit for an indoor institutional use which is required by the City's Code of Ordinances.

In accordance with section 90-472 (6) of the City's Code of Ordinances, the Business Development and Planning Director presents the following findings:

1. The conditional use, itself, is in existence and is in harmony with the recommendations of the comprehensive plan.
2. The Conditional Use will not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environment, traffic, parking, public improvements, public property, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may be in the future. Section 90-57 (3) (c) 1 requires a minimum parking requirement (indoor institutional use-church) of one space per five seats at the maximum capacity. The Church estimates its maximum capacity service at 30-50. Because off street parking is not available, a street use permit and/or agreement would be required for Skaters Way.

An additional restroom is required for this assembly use by Code. The building owner has indicated that he could install the additional restroom in November, 2015.

3. The Conditional Use maintains the desired consistency of land uses and development related to the environs of the subject property. Section 90-57 (3) (b) states that a minimum of 50' separate an indoor institutional use facility from any residentially zoned facility. This 50' separation is met.
4. The Conditional Use is located in an area that will be adequately served by, and will not impose an undue burden, on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
5. The potential public benefits outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

Additionally, as a result of the public hearing notice, the City did not receive any comments regarding the conditional use.



**City of Portage  
Plan Commission Meeting  
Monday, July 20, 2015  
Public Hearing, 6:20 p.m.  
Regular Meeting, 6:30 p.m.  
City Municipal Building, 115 West Pleasant Street  
Conference Room Two  
Agenda**

Members: Mayor Bill Tierney, Chairperson; Robert Redelings, City Engineer, Jan Bauman, Carolyn Hamre, Brian Zirbes, Peter Tofson, Mike Charles

Public Hearing – 6:20 pm

To consider a conditional use permit for City of Refuge Church for parcel 2430.02, 111 E. Skaters Way, City of Portage, Columbia County, Wisconsin

Regular Meeting – 6:30 pm

1. Roll call
2. Approval of minutes from previous meeting.
3. Discussion and Possible Action on Conditional Use Permit for City of Refuge Church
4. Discussion and Possible Action on Encapsys building expansion.
5. Discussion and Possible action on Rolling Woods leasing office.
6. Discussion and Possible action on Pflanz, Mantey, Mendrala Funeral Home parking lot development
7. Discussion and Possible action on Cardinal F.G. Sub Station Building.
8. Discussion and Possible action on Divine Savior Parking Lot reconfiguration
9. Discussion and Possible action on Sign Ordinance.
10. Adjournment

**City of Portage  
Plan Commission Meeting  
Monday, June 15, 2015, 6:30 p.m.  
City Municipal Building, 115 West Pleasant Street  
Conference Room Two**

Members present: Mayor Bill Tierney, Chairperson; Robert Redelings, City Engineer, Mike Charles, Jan Bauman, Carolyn Hamres, Brian Zirbes and Peter Tofson.

Others present: Marianne Hanson, Bill Cartwright, LaDonna Devine, Ken Jahn, Marilyn Jahn, Administrator Murphy, Director Sobiek; Bill Welsh and Craig Sauer

**Public Informational Meeting on Sign Ordinance Revisions – 6:30pm**

Director Sobiek reviewed the proposed sign ordinance revision draft. He indicated there will be provision added to the draft to allow for a variance procedure. He also indicated language would be offered allowing businesses to maintain non-conforming signs until the sign was replaced.

Interchangeable noncommercial message signs will also be defined.

Ms. Hanson suggested allowing or permitting of large balloons, or inflatable blimp-like signs. She was also concerned about the ability of merchants to utilize sandwich boards to aide their businesses with the current 4 square foot limitation on sandwich boards.

Mr. Jahn indicated many premade sandwich boards now on the market measure approximately 3 feet by 2 feet.

Jahn suggested aligning the time period that election signs are allowed up currently 60 days in the new draft, to be aligned with state election law that governs the

Jahn suggested allowing businesses to have multiple signs, similar to a multi-business development, if they have offered a variety of different services as a full service auto dealership does.

Jahn indicated some cities, including Madison, have removed their sign ordinance from zoning code for easier Code enforcement.

**Regular Meeting**

- 1. Roll call**
- 2. Approval of minutes from previous meeting.**

Motion by Charles, second by Bauman to approve the minutes from the May meeting. Motion passed 7 to 0 on call of the roll.

### **3. Discussion and possible action on sign ordinance revisions**

Tofson indicated removing the ten year sign compliance requirement as contained in the current draft, as previously discussed by Mr. Sobiek.

Hamre suggested allowing business directional signage up to 4 square feet in sign area if erected on private property.

Hamre was concerned about downtown and other city merchants unable to advertise with sandwich boards with the current draft's 4 square foot limitation. Consensus of the Commission to increase this to 6 square feet per side in surface area.

Tofson urged consideration of reducing the wind load requirement.

Hamre suggested reviewing the two flag sections for uniformity, and adding U.S. and state flag applicability in the U.S. flag code etiquette addition.

Motion by Mayor Tierney, second by Director Redelings, to have Staff present the latest sign ordinance revision draft, with changes from this meeting, at the July meeting and have a public hearing at the August meeting. Motion passed 7-0 on a call of the roll.

### **4. Discussion and possible action on Bill Cartwright Office Building**

Director Redelings reviewed the office building plan as submitted by Mr. Cartwright. He indicated it complied with landscaping code by exceeding the required point value and the lighting plan and photometrics were adequate to light the parking lot properly. However, he indicated it was missing the required stormwater management and utility plan.

Redelings also indicated that since it is an office building with an address on Washington Street, that a parking lot on Washington Street, including street ingress and egress would be a better plan.

Mr. Cartwright indicated that that might be a good idea if the development was retail oriented, which it is not, and that his submitted plan is symmetrical with his adjoining lot to the south that has a back parking lot.

Mr. Cartwright indicated that Mr. Grothman is currently working on the stormwater management plan and it should be completed soon and submitted to the City. He also indicated that utilities run to the parcel although they are not shown on the site plan.

Mr. Zirbes indicated that the size and location of the stormwater pond might change the building and parking lot locations.

The Commission discussed the possibility of holding a special plan Commission meeting in early July to facilitate approval of the Cartwright office building plan.

Director Redelings indicated that he would consider granting a land disturbance permit to Mr. Cartwright to facilitate start of site work before approval of the development's site plan.

Ms. DeVine inquired about the City assigning an address to the parcel. Mr. Sobiek indicated he would facilitate this if he had not done so already.

Consensus to have Staff review the needed and outstanding plan items, including the required stormwater plan after it is submitted by Mr. Cartwright. The plan can then be placed on the Commission's July meeting agenda for action.

## **5. Adjournment.**

Motion by Charles, second by Tofson to adjourn. Motion passed 7 to 0 on call of the roll.

The meeting concluded at 8:50 p.m.

Respectfully submitted

Steven Sobiek,  
Director, Business Development and Planning

Owner (s):  
**Garold D & Joyce M Kasten Living Trust dated  
12/5/2007**

Location:  
**NE-NE, Sect. 6, T12N, R9E  
SE-NE, Sect. 6, T12N, R9E**

Mailing Address:  
**Garold D & Joyce M Kasten Living Trust dated  
12/5/2007  
109 E Haertel Street  
Portage, WI 53901**

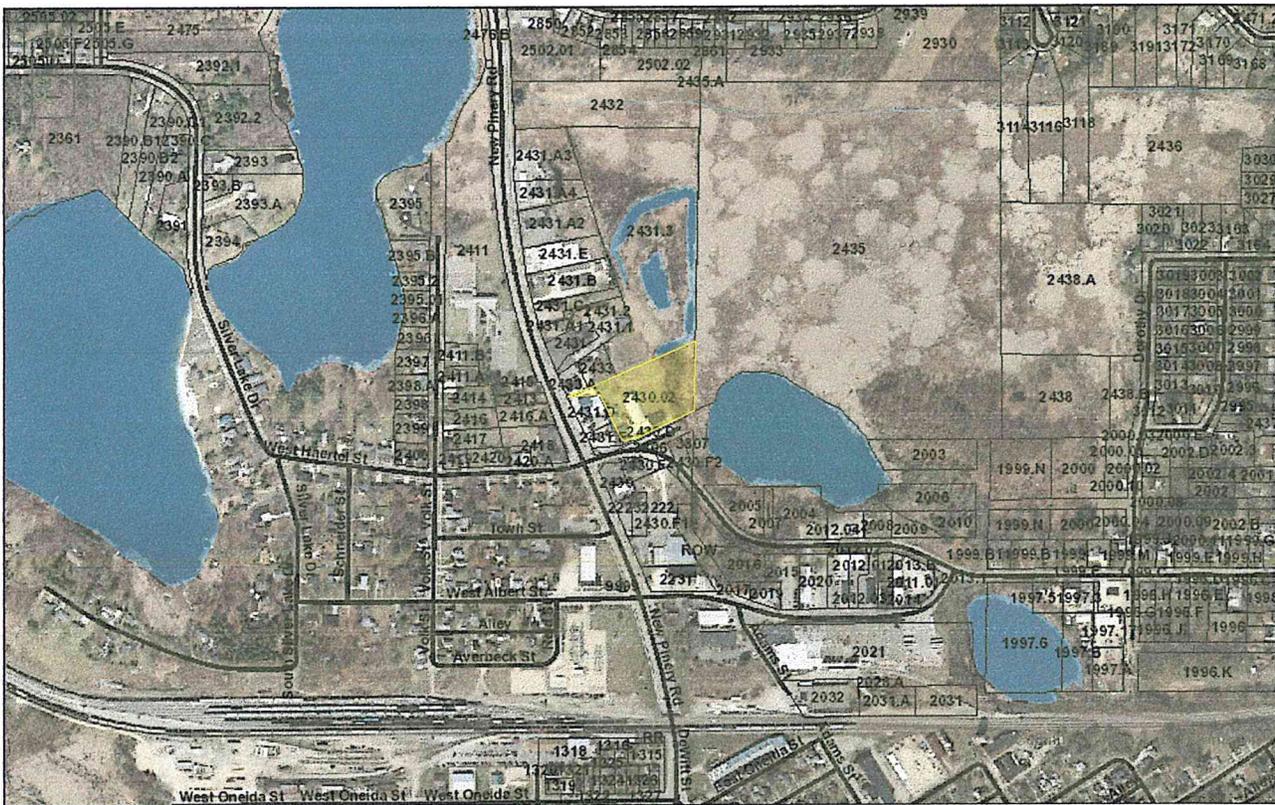
School District:  
**4501 - Portage Community School**

Tax Parcel ID Number: Tax District: Status: Acres:  
**2430.02 11271-City of Portage Active 0.0000**

Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document):  
**PRT OUT LOT 87. COM N LN HAERTEL & W LN HWY 51, E113.28' N24W54.6' N86E140' POB:N24W250'  
S86W140' N24W1' N66E621.3' S328.4' S66W350.9' POB. EXC .0828A R272-182 ALSO Lot 1, CSM 659-3-134 — See  
Exceptions**

Site Address (es): *(Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)*

- 109 East Haertel St Portage, WI 53901
- 111 Skater's Way Portage, WI 53901
- 111 Skater's Way A Portage, WI 53901
- 111 Skater's Way B Portage, WI 53901
- 109 East Haertel St Portage, WI 53901
- 111 Skater's Way Portage, WI 53901



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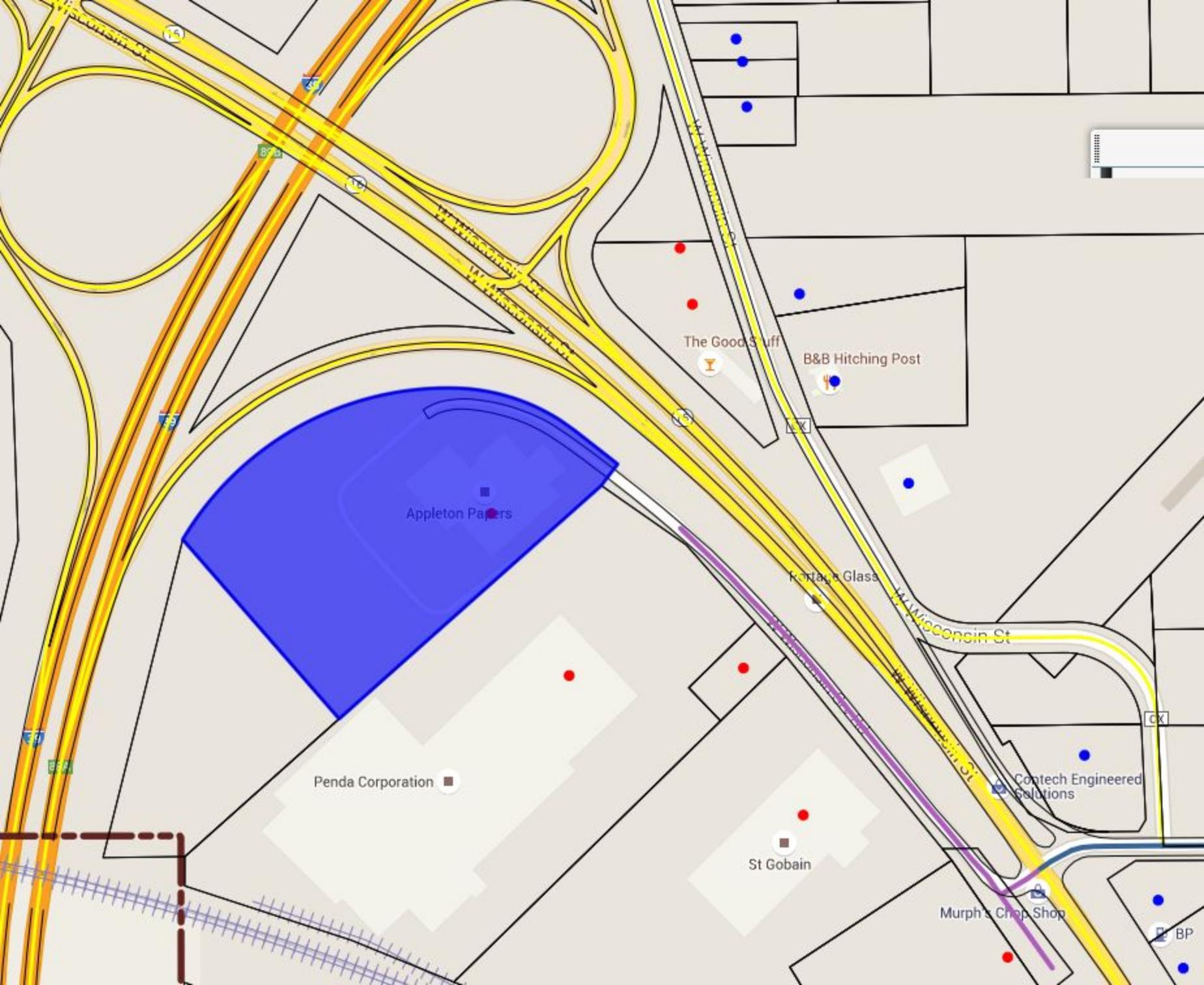
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Appleton Papers

Penda Corporation

St Gobain

Murph's Chop Shop

The Good Stuff

B&B Hitching Post

Contact Glass

Contech Engineered Solutions

BP

## Memorandum

TO: Plan Commission

FROM: Steve Sobiek, Director-Business Development and Planning

DATE: July 15, 2015

RE: Encapsys Building Expansion

CC: Shawn Murphy, City Administrator

Bob Redelings, City Engineer/ Public Works Director

The subject property is located on parcel 2521, at 2500 W. Wisconsin St. The parcel is zoned M 2 Heavy Industrial.

A complete plan set was submitted along with a completed Developer's Checklist.

Stormwater detention was addressed for this building addition when their prior building expansion project was approved. The project proposes the desired watermain loop with a new hydrant and a replacement hydrant. The City will become the owners of the watermain. Specific requirements for the watermain include a permanent 20' easement, Encapsys to provide construction observation to meet DNR requirements and verification that no cross connection exists w/ Encapsys private water system.

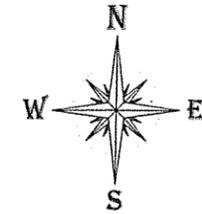
Setback and landscaping plan and points meet Code requirements. Lighting as shown appears to be adequate.



# TOPOGRAPHIC AS-BUILT PLAN

BEING LOT 1, C.S.M. NO. 1161 AS RECORDED IN VOLUME 5 OF SURVEYS AT PAGE 153 AS DOCUMENT NO. 463664, LOCATED IN THE SE1/4 OF THE SW1/4 AND THE SW1/4 OF THE SE1/4, SECTION 36, T.13 N., R.8 E., CITY OF PORTAGE, COLUMBIA COUNTY, WISCONSIN. CONTAINING: 375,041 SQ. FT. - 8.61 ACRES

NOTE: THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.



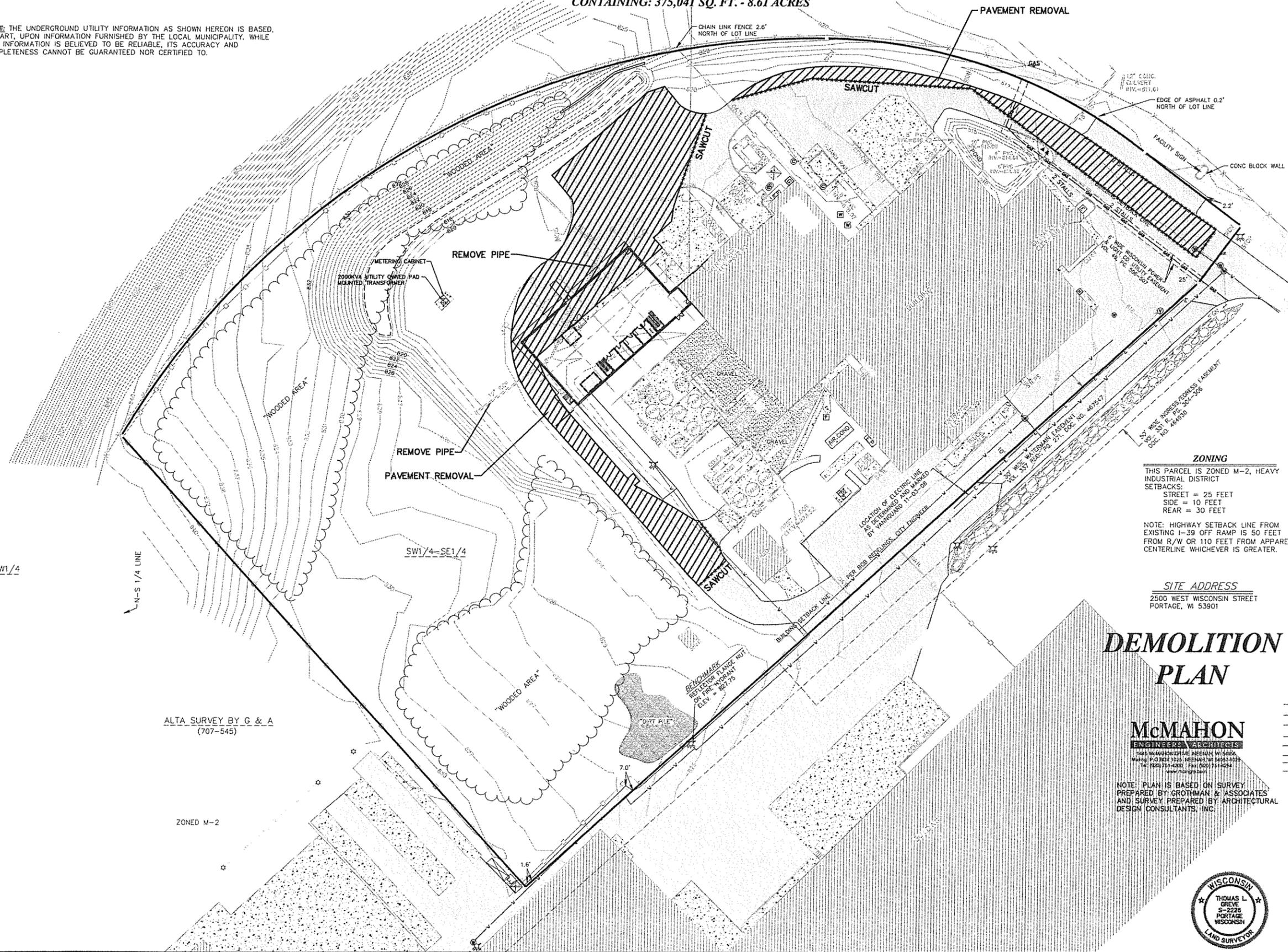
SCALE: 1" = 40'

BASIS OF BEARINGS: IS THE RECORDED BEARINGS OF C.S.M. NO. 1161.

NOTE: ELEVATIONS BASED ON CITY DATUM (NGVD29)

NOTE: THE 100 YEAR FLOOD EVENT ELEVATION FOR THIS AREA IS 798 PER FEMA MAP COMMUNITY PANEL NO. 55021 C 0261E, DATED APRIL 2, 2008.

**CA GROTHMAN & ASSOCIATES S.C.**  
LAND SURVEYORS  
625 EAST SUFFER STREET, P.O. BOX 373, PORTAGE, WI 53901  
PHONE: (608) 742-7788 SAUK: (608) 644-8877  
FAX: (608) 742-0434 E-MAIL: surveying@grothman.com



- LEGEND**
- 1" IRON PIPE FND.
  - 3/4" IRON PIPE FND.
  - ▲ P.K. NAIL FND.
  - GUARD POST
  - LIGHT POST
  - GROUND LIGHT
  - FLAG POLE
  - TELEPHONE PEDESTAL
  - POWER POLE
  - MAILBOX
  - GAS METER
  - GAS SIGN
  - SIGN
  - ELECTRIC METER
  - ELECTRIC COVER
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  - ELECTRIC PANEL
  - WALL FIRE HYDRANT
  - CLEAN OUT
  - VENT
  - WATER BOX
  - FIRE HYDRANT
  - WELL
  - PIPE PUMP
  - ROOF DRAIN
  - ROUND STORM DRAIN
  - SANITARY SEWER MANHOLE
  - MANHOLE ORIGIN UNKNOWN
  - CHAINLINK FENCE
  - WIRE FENCE
  - WATER LINE
  - SAN SANITARY SEWER LINE
  - SS STORM SEWER LINE
  - CHE OVERHEAD UTILITY LINE
  - BURIED ELECTRIC LINE
  - GAS GAS LINE
  - ASPHALT SURFACE
  - CONCRETE SURFACE
  - GRAVEL SURFACE

**ZONING**  
THIS PARCEL IS ZONED M-2, HEAVY INDUSTRIAL DISTRICT  
SETBACKS:  
STREET = 25 FEET  
SIDE = 10 FEET  
REAR = 30 FEET

NOTE: HIGHWAY SETBACK LINE FROM EXISTING I-39 OFF RAMP IS 50 FEET FROM R/W OR 110 FEET FROM APPARENT CENTERLINE WHICHEVER IS GREATER.

**SITE ADDRESS**  
2500 WEST WISCONSIN STREET  
PORTAGE, WI 53901

## DEMOLITION PLAN

**McMAHON**  
ENGINEERS ARCHITECTS  
1043 MEMORIAL DRIVE NEENAH WI 54956  
Main: P.O. BOX 1025 NEENAH WI 54951-4025  
Tel: (920) 751-4300 Fax: (920) 751-4284  
www.mcmahon.com

NOTE: PLAN IS BASED ON SURVEY PREPARED BY GROTHMAN & ASSOCIATES AND SURVEY PREPARED BY ARCHITECTURAL DESIGN CONSULTANTS, INC.

**OWNER/CLIENT**  
ENCAPSYS /APPLETON  
825 E. WISCONSIN AVENUE  
P.O. BOX 359  
APPLETON, WI 54912

**SURVEYOR**  
THOMAS L. GREVE  
P.O. BOX 373  
625 E. SUFFER STREET  
PORTAGE, WI 53901  
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NO.	DATE	REVISION	BY	CHKD.
4/3/14	5/18/10	NEW BUILDING ADDITION & IMPROVEMENTS	ALH	
		REVISION	JRG	
THIS INSTRUMENT DRAFTED BY JERON ABEGLLEN				SHEET 1 OF 1

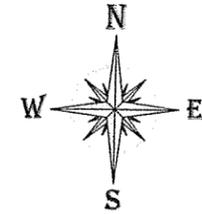
**TOPOGRAPHIC AS-BUILT PLAN**  
FOR  
**APPLETON PAPERS INC.**  
CITY OF PORTAGE  
COLUMBIA COUNTY, WISCONSIN

FILE NO. 314-111  
PROJECT NO. 801-624  
DRAWING NO. C-101

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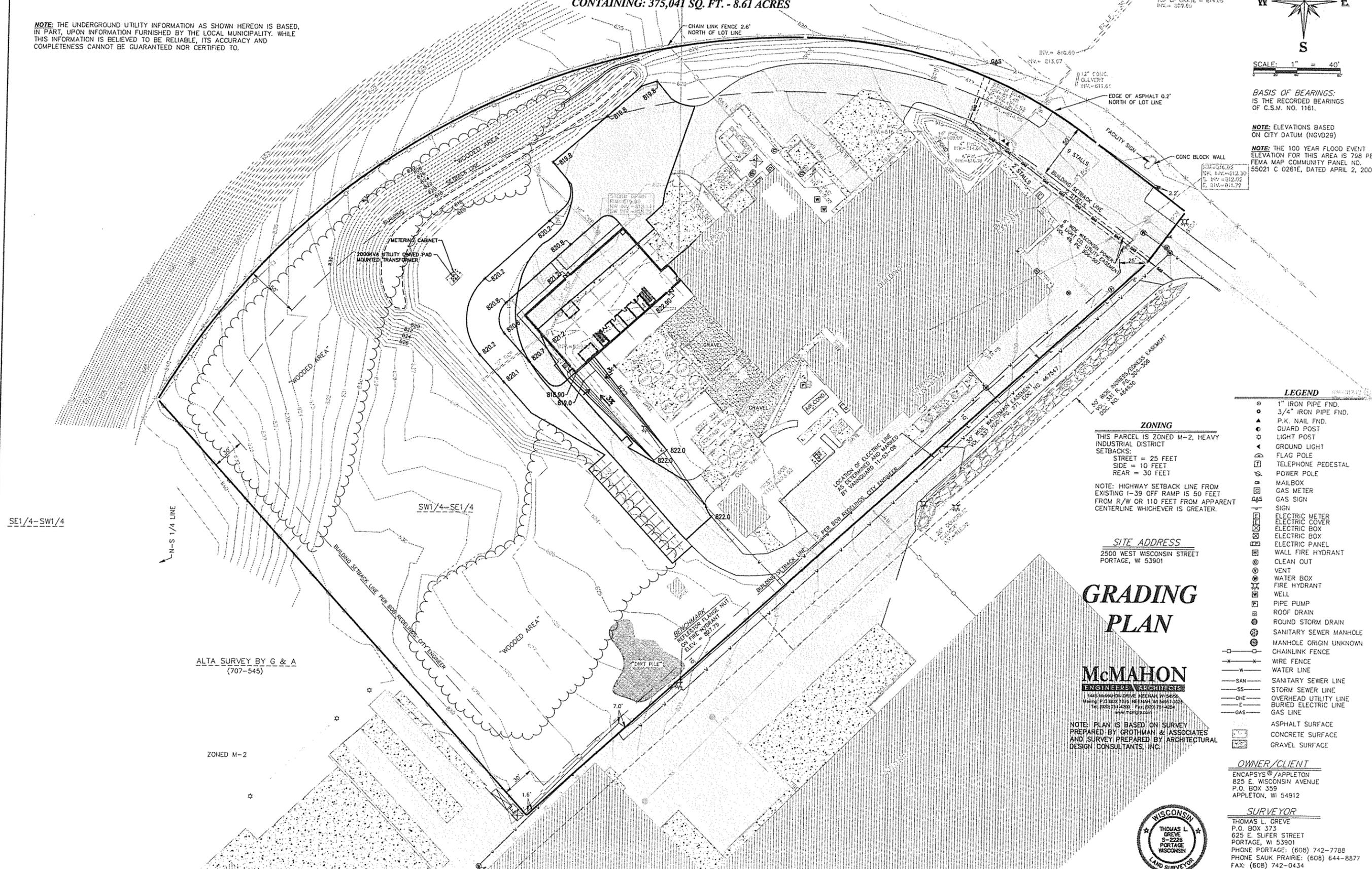


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NO.	DATE	REVISION	BY	CHKD
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2	5/18/10	UPDATED SITE PLAN	JRG	ALH

THIS INSTRUMENT DRAFTED BY JERON ABEGLLEN  
SHEET 7 OF 7

**TOPOGRAPHIC AS-BUILT PLAN**  
FOR  
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FILE NO. 314-111  
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ALTA SURVEY BY G & A  
(707-545)

ZONED M-2



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CONTAINING: 375,041 SQ. FT. - 8.61 ACRES

NOTE: THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

SCALE: 1" = 40'

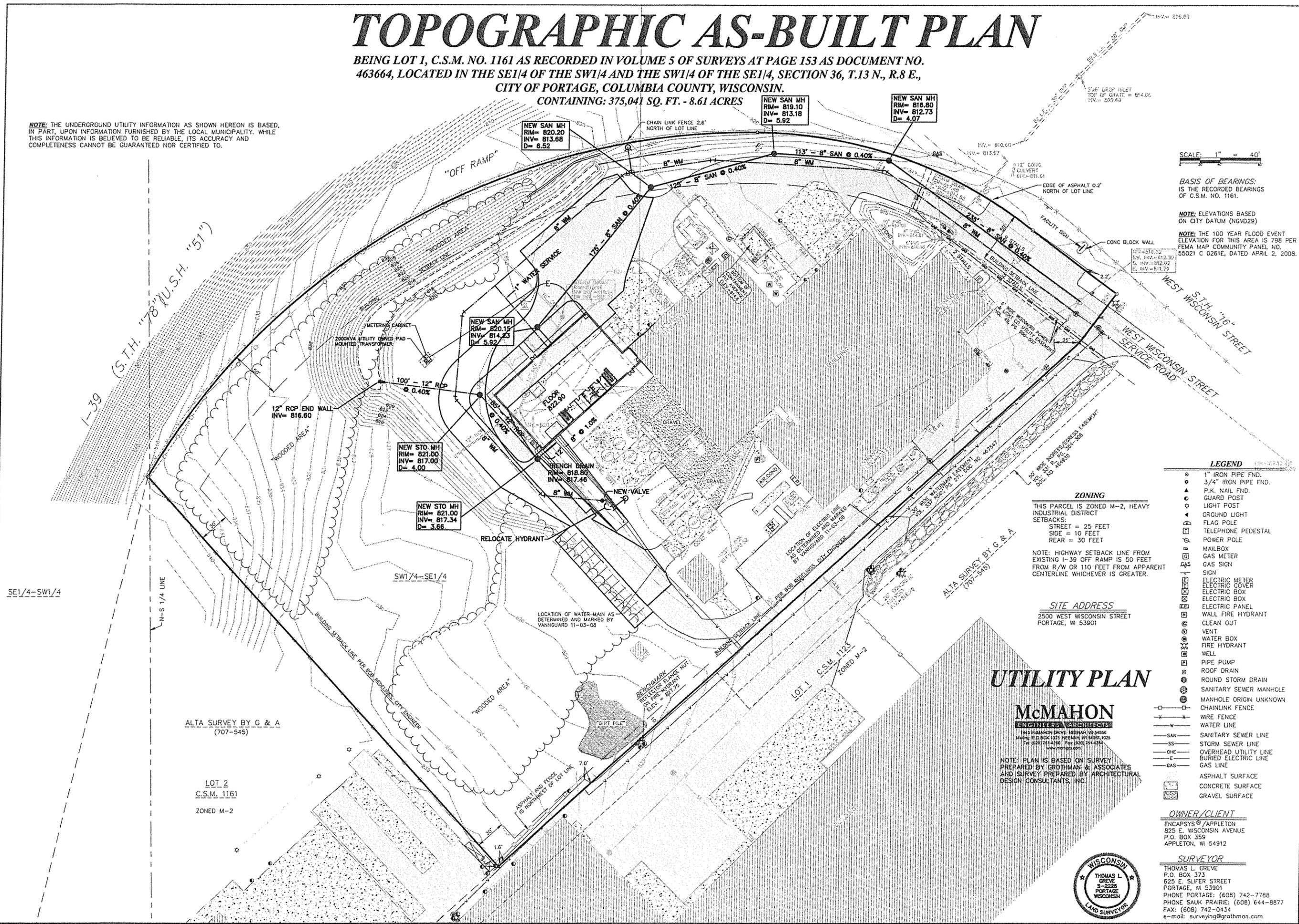
BASIS OF BEARINGS: IS THE RECORDED BEARINGS OF C.S.M. NO. 1161.

NOTE: ELEVATIONS BASED ON CITY DATUM (NGVD29)

NOTE: THE 100 YEAR FLOOD EVENT ELEVATION FOR THIS AREA IS 798 PER FEMA MAP COMMUNITY PANEL NO. 55021 C 0261E, DATED APRIL 2, 2008.

**CA GROTHMAN & ASSOCIATES S.C.**  
LAND SURVEYORS  
625 EAST SLIFER STREET, P.O. BOX 373 PORTAGE, WI. 53901  
PHONE: PORTAGE: (608) 742-7788 SAUK: (608) 644-8877  
FAX: (608) 742-0434 E-MAIL: surveying@grothman.com

W:\PROJECTS\M10561940752001C-104 UTILITY-APPLETON PAPERS.dwg, UTILITY PLAN, 6/17/2015 11:32:36 AM, khgner, 1:2.13636  
Engineer: W:\PROJECTS\M10561940752001C-104 UTILITY-APPLETON PAPERS.dwg, utility plan, Plot Date: 6/17/2015 11:32 AM, xref: (x=appleton papers, o=f010)



- LEGEND**
- 1" IRON PIPE FND.
  - 3/4" IRON PIPE FND.
  - ▲ P.K. NAIL FND.
  - GUARD POST
  - LIGHT POST
  - ▲ GROUND LIGHT
  - FLAG POLE
  - TELEPHONE PEDESTAL
  - POWER POLE
  - MAILBOX
  - GAS METER
  - GAS SIGN
  - SIGN
  - ELECTRIC METER
  - ELECTRIC COVER
  - ELECTRIC BOX
  - ELECTRIC BOX
  - ELECTRIC PANEL
  - WALL FIRE HYDRANT
  - CLEAN OUT
  - VENT
  - WATER BOX
  - FIRE HYDRANT
  - WELL
  - PIPE PUMP
  - ROOF DRAIN
  - ROUND STORM DRAIN
  - SANITARY SEWER MANHOLE
  - MANHOLE ORIGIN UNKNOWN
  - CHAINLINK FENCE
  - WIRE FENCE
  - WATER LINE
  - SAN SANITARY SEWER LINE
  - SS STORM SEWER LINE
  - OHE OVERHEAD UTILITY LINE
  - E BURIED ELECTRIC LINE
  - GAS GAS LINE
  - ASPHALT SURFACE
  - CONCRETE SURFACE
  - GRAVEL SURFACE

**ZONING**  
THIS PARCEL IS ZONED M-2, HEAVY INDUSTRIAL DISTRICT  
STREET = 25 FEET  
SIDE = 10 FEET  
REAR = 30 FEET  
NOTE: HIGHWAY SETBACK LINE FROM EXISTING I-39 OFF RAMP IS 50 FEET FROM R/W OR 110 FEET FROM APPARENT CENTERLINE WHICHEVER IS GREATER.

**SITE ADDRESS**  
2500 WEST WISCONSIN STREET  
PORTAGE, WI 53901

## UTILITY PLAN

**McMAHON**  
ENGINEERS ARCHITECTS  
1445 McMAHON DRIVE NEENAH, WI 54956  
PHONE: 920 BOK 1025 PRAIRIE WI 54905-1025  
TEL: (608) 751-4200 FAX: (608) 751-4284  
www.mcmahon.com

NOTE: PLAN IS BASED ON SURVEY PREPARED BY GROTHMAN & ASSOCIATES AND SURVEY PREPARED BY ARCHITECTURAL DESIGN CONSULTANTS, INC.

**OWNER/CLIENT**  
ENCAPSYS / APPLETON  
825 E. WISCONSIN AVENUE  
P.O. BOX 359  
APPLETON, WI 54912

**SURVEYOR**  
THOMAS L. GREVE  
P.O. BOX 373  
625 E. SLIFER STREET  
PORTAGE, WI 53901  
PHONE PORTAGE: (608) 742-7788  
PHONE SAUK PRAIRIE: (608) 644-8877  
FAX: (608) 742-0434  
e-mail: surveying@grothman.com



NO.	DATE	REVISION	BY	CHKD
4/3/14	5/18/10	NEW BUILDING ADDITION & IMPROVEMENTS	ALH	JRG
		REVISION	JRG	CHKD

THIS INSTRUMENT DRAFTED BY: JERON ABEGLLEN  
SHEET 1 OF 1

**TOPOGRAPHIC AS-BUILT PLAN**  
FOR  
**APPLETON PAPERS INC.**  
CITY OF PORTAGE  
COLUMBIA COUNTY, WISCONSIN

FILE NO.	314-111
PROJECT NO.	801-624
DRAWING NO.	C-104

ENCAPSYS™



20 pts.



20 pts.



20 pts.



20 pts.



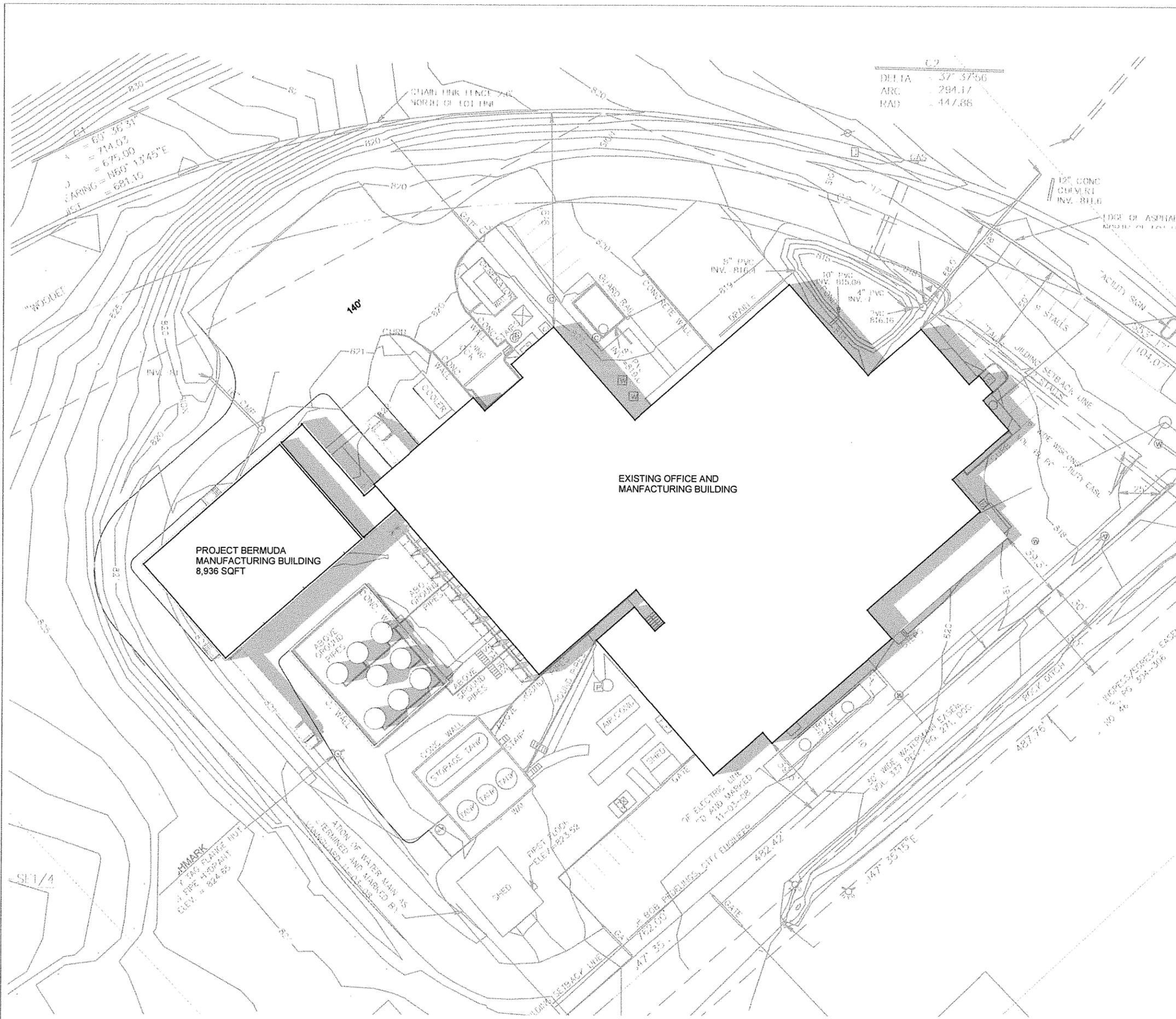
20 pts.



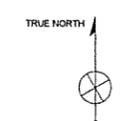








DELTA	= 37° 37' 66"
ARC	= 294.17
RAD	= 447.88



INDEX	DATE	REVISION	BY	CHECK	M-W	CLIENT APPROVED
1	6-16-15	ISSUED FOR PLANNING COMMISSION REVIEW	RW	CM		
2	6-12-15	PHASE I ISSUE				

### Project Bermuda

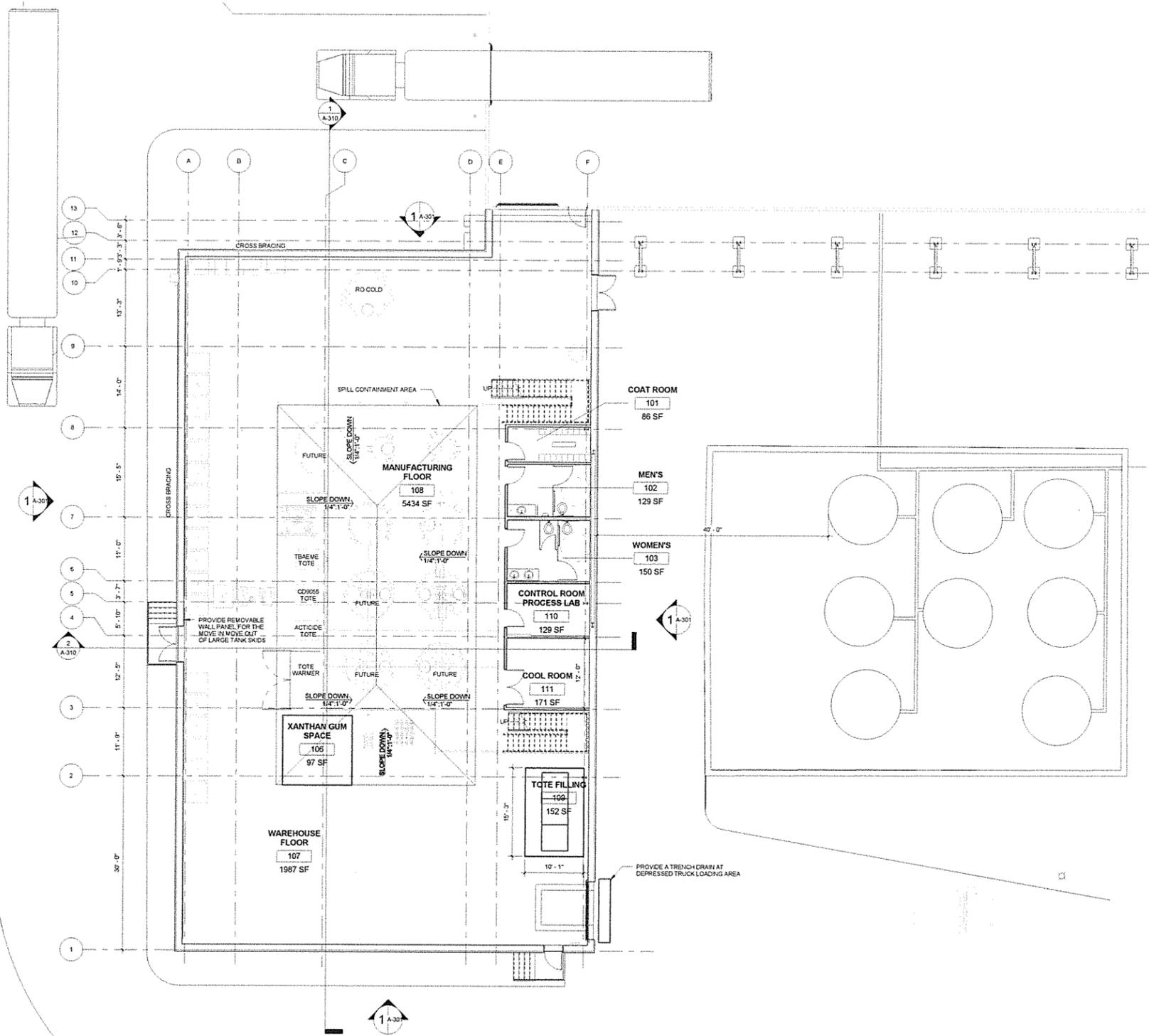
Portage, WI USA

ENGINEER

M+W GROUP  
M+W U.S., Inc.  
205 Summer St.  
Boston, MA 02210  
Telephone: (617) 478-8711  
Fax: (617) 737-8785

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PROJECT <b>Bermuda</b>			
CONTRACT NO. <b>18405</b>	SIZE <b>30 x 42</b>	SCALE <b>1" = 20'-0"</b>	CAD-FILE-NAME
TITLE <b>SITE PLAN</b>			DRAWING-NUMBER <b>A-100</b>
DRAWN BY - DATE RW			REV <b>1</b>
CHECKED BY - DATE TB		APPROVED BY - DATE CM	



INDEX	DATE	PHASE / ISSUE / REVISION	BY	CHECK	M-W	CLIENT
1	6-16-15	ISSUED FOR PLANNING COMMISSION REVIEW	RW	CM		
A	6-12-15	REVISION				

## Project Bermuda

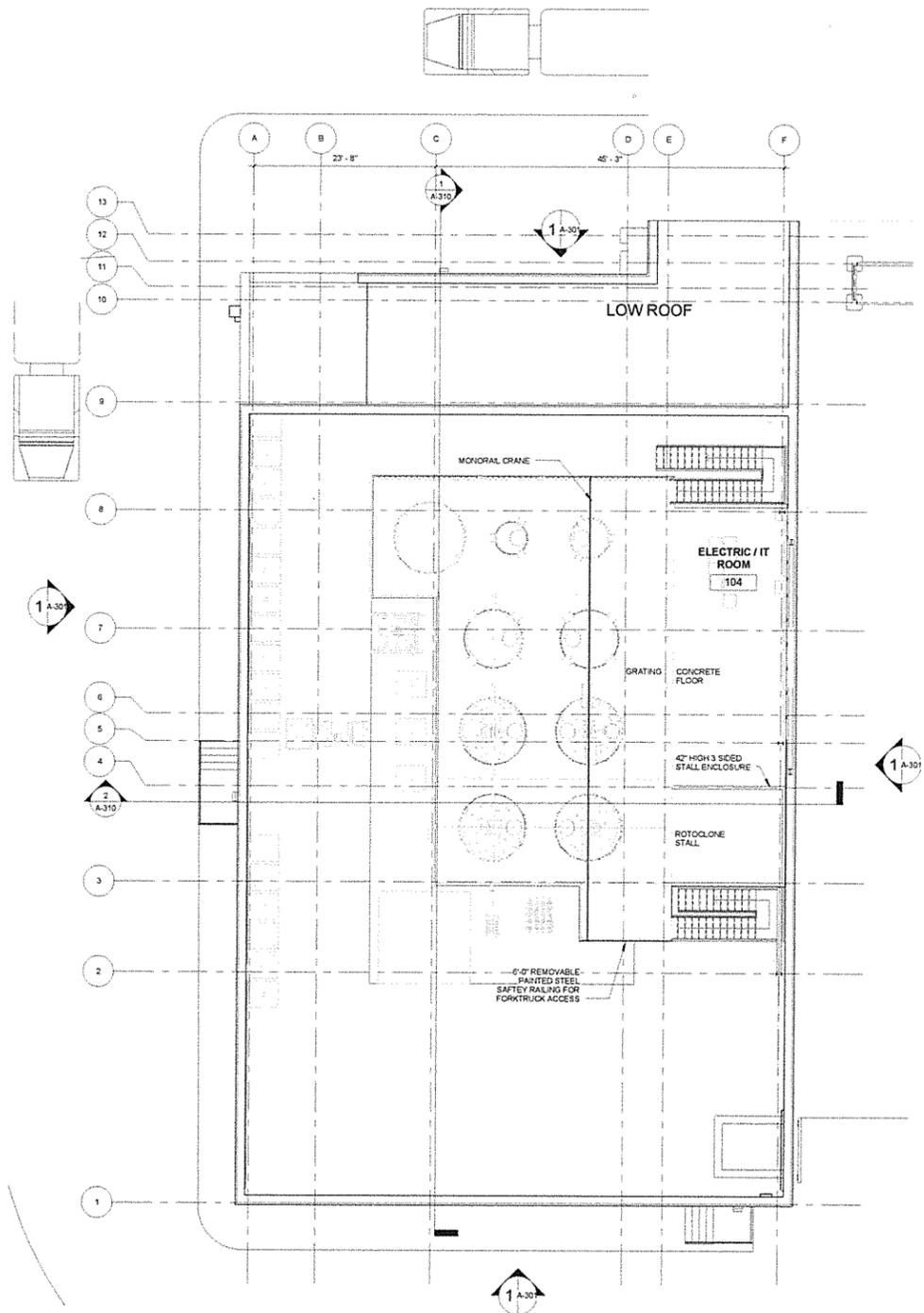
Portage, WI USA

**ENGINEER**

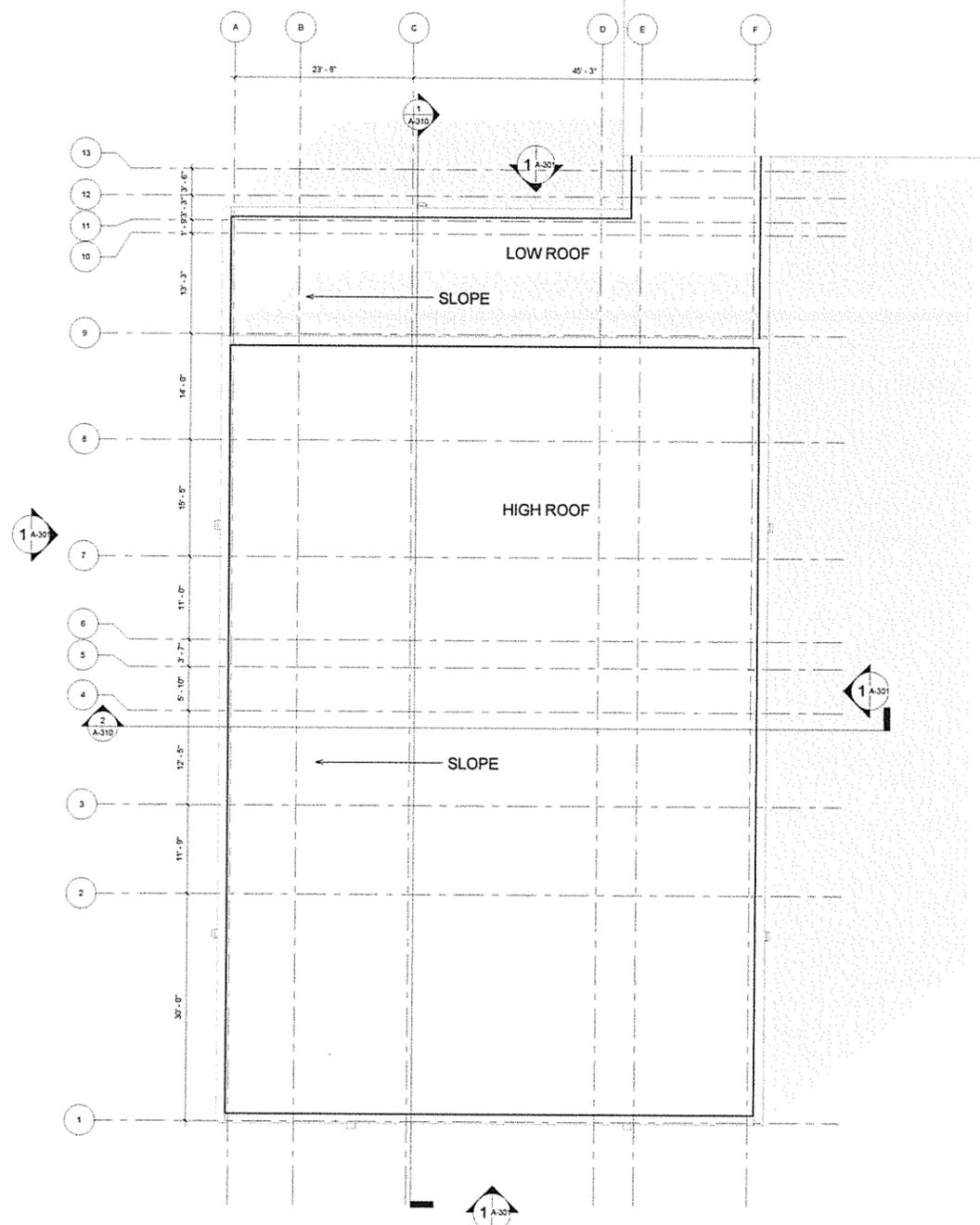
**M+W GROUP**  
 M+W U.S., Inc.  
 285 Summer St., Third Floor  
 Boston, MA 02210  
 Telephone: (617) 478-8711  
 Fax: (617) 737-8786

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<b>PROJECT</b>			
Bermuda			
CONTRACT-NO. 18405	SIZE 30 x 42	SCALE 1/8" = 1'-0"	CAD-FILE-NAME
<b>TITLE</b>		<b>DRAWING-NUMBER</b>	<b>REV</b>
FIRST FLOOR		A-201	1
<b>DRAWN BY - DATE</b>	<b>CHECKED BY - DATE</b>	<b>APPROVED BY - DATE</b>	
RW	TB	CM	



1 SECOND FLOOR  
A-202 SCALE: 1/8" = 1'-0"



2 HIGH ROOF B.O.S.  
A-302 SCALE: 1/8" = 1'-0"

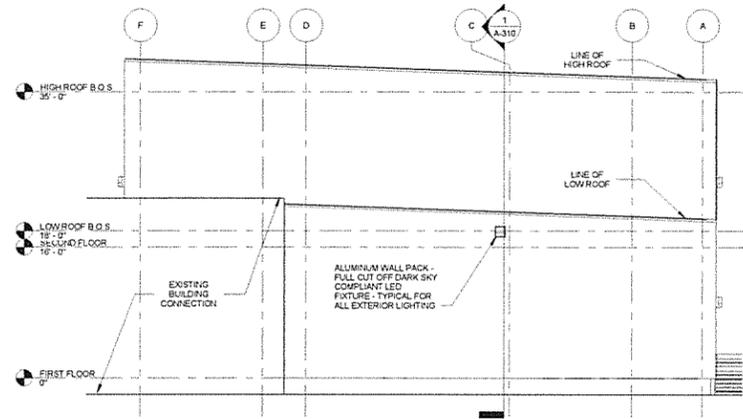
PROJECT NORTH

1	5-16-15	ISSUED FOR PLANNING COMMISSION REVIEW	RW	CM
A	6-12-15	PHASE 1 ISSUE		
INDEX	DATE	REVISION	BY	CHECK M-W CLIENT APPROVED

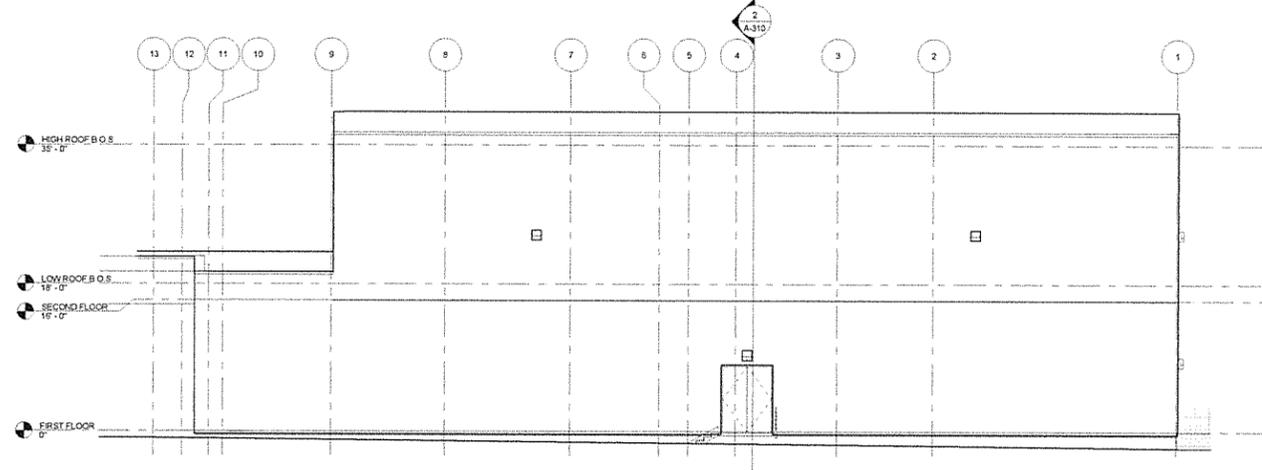
<b>Project Bermuda</b>				
Portage, WI USA				
ENGINEER				
 M+W U.S. Inc. 205 Summer St. Third Floor Boston, MA 02210 Telephone: (617) 475-8711 Fax: (617) 757-5786				

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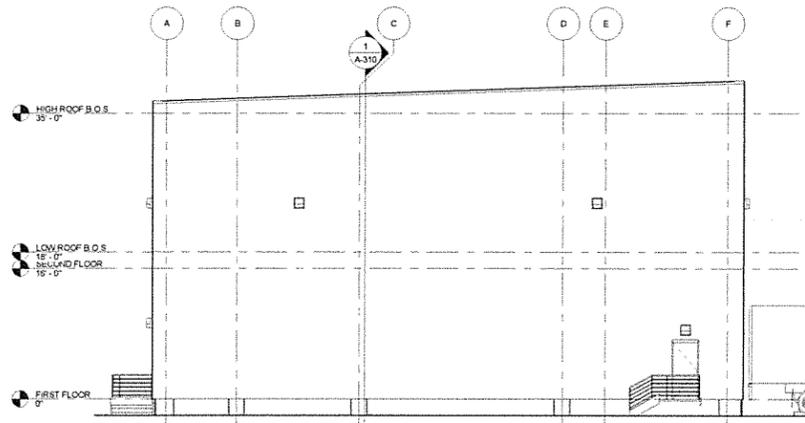
PROJECT			
Bermuda			
CONTRACT-NO. 18405	SIZE 30 x 42	SCALE 1/8" = 1'-0"	CAD-FILE-NAME
TITLE SECOND FLOOR & ROOF PLAN		DRAWING-NUMBER A-202	REV 1
DRAWN BY - DATE RW	CHECKED BY - DATE TB	APPROVED BY - DATE CM	



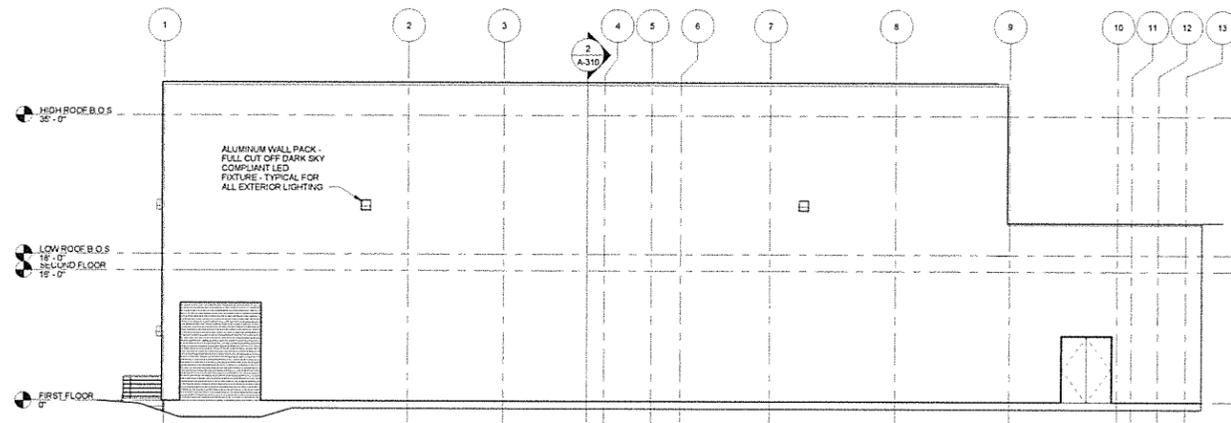
1 NORTH ELEVATION  
A-301 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION  
A-301 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION  
A-301 SCALE: 1/8" = 1'-0"



4 EAST ELEVATION  
A-301 SCALE: 1/8" = 1'-0"

INDEX	DATE	PHASE/ISSUE	REVISION	BY	CHECK	M-W	CLIENT	APPROVED
1	6-16-15	ISSUED FOR PLANNING COMMISSION REVIEW		RW	CM			
A	6-12-15							

**Project Bermuda**  
Portage, WI USA

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<b>PROJECT</b> Bermuda			
CONTRACT NO. 18405	SIZE 30 x 42	SCALE 1/8" = 1'-0"	CAD-FILE-NAME
TITLE EXTERIOR BUILDING ELEVATIONS		DRAWING NUMBER A-301	REV 1
DRAWN BY - DATE RW	CHECKED BY - DATE TB	APPROVED BY - DATE CM	

## 1. Executive Summary

### 1.1 Introduction

Encapsys selected M+W U.S., Inc. to perform the Phase I engineering services through a competitive bidding process for Project Bermuda.

The Phase I engineering comprise of about 90% process design that includes 90% P&IDs with reviews, specification of major process equipment and the facility design at 30-35% level. This level of design establishes a sound project foundation upon which a reliable business decision can be made and a definitive execution plan can be put in effect to realize Project Bermuda.

### 1.2 Phase 1 Design

We believe we have produced the Phase I design that meets the Encapsys objectives. It represents a design basis that is truly functional and cost driven. It has been developed with Encapsys input, participation and reviews. The final Phase I design seems to be within the cost limit and the planning of the future engineering, procurement and construction meets the P&G/Encapsys milestone.

The Phase I design provides an added benefit of input from M+W's pre-construction group in planning procurement, construction and project scheduling development. The future phases of the project are addressed and risks mitigated.

Major suppliers to participate in the project also had adequate input to make the Phase I work complete and reliable. These are – Butler Building who will design, fabricate, furnish and install the building super structure; process equipment skid fabricators, a total of three participated; Encapsys has narrowed the choice to one and the automation system integrator ESI. These companies provided requested input to validate the design and also provided cost estimates for increasing its accuracy.

### 1.3 Design Execution

The execution of design was discussed with Encapsys at the start of the project and collectively a work plan was established with the following milestones. Each process design review was conducted in face to face meetings, team also discussed the ongoing design and progress at weekly WebEx meetings. Communication among design team members was almost on a continuous basis.

The following data represents the major features associated with each design milestone.

Design Milestone	Planned Completion Date	Remarks		
Phase I kick-off	Dec. 2, 2014	Team alignment, site tour/data collection	Start with process design, limited facility design	Kick-off successful with information obtained
30% PID	Jan. 8, 2015	PID developed; Process Equipment List to assess facility size and utility requirements	Facility concepts started upon developing 30% PID	Milestone met
ROM Estimate	Feb. 6, 2015	R.O.M. Cost is much higher than the planned budget	Cost reduction program implemented, for six weeks project was on very limited cost activities only. Delayed follow on activities by six weeks	Milestone met. M+W recommended doing ROM Estimate much earlier (not at the end of Phase I) so that program and the budget can be met
60% PID	Feb. 20, 2015	Process design continued with the reduced program	Process refinements for cost reduction implemented in the design	Submitted Feb. 24
90% PID	Mar. 20, 2015*	PIDs and process equipment specs. issued to Skid Fab. And ESI	Documents used to obtain quotes from Skid fab and ESI. Major facility design concepts developed, some getting underway	Submitted April 29 Process equipment specifications followed, expedited for skid quotes
Complete Phase I	May 1, 2015*	Phase I design completed. P&G/Encapsys objectives are met	Establishes a sound basis for Phase II / EPCM Execution	Submitted June 15

\* Milestones delayed about six weeks due to cost reduction program

## 1.4 Design Duration

The Phase I engineering is accomplished from early December 2014 through mid-June 2015. The duration was extended by six weeks due to the cost reduction effort during which time the facility design was on hold and limited activities were conducted on the process side.

The detail design will be completed in less than three months.

## 1.5 Cost Estimate

We recommended preparing the cost estimate early on. After the 30% PID and a preliminary equipment list, we developed the facility layout with the programming data collected earlier from the Encapsys team.

The initial R.O.M. cost estimate was based on equipment price quotes from vendors, PEMB cost from Butler and a high degree of quantities for the building systems. The estimated cost was higher than the anticipated budget. M+W reduced the cost by \$ 2 million quickly, then the Team was tasked to address scope reduction including building size, equipment, operating strategy and future flexibility – this was accomplished working with process engineers on each side and the ROM estimate of April 28 brought the estimate close to the budget.

We continued to develop the design with emphasis on reducing costs. Further 'cuts' were made in the facility components in many areas. The Phase I estimate submitted on June 12, 2015 for Direct (cost of work) and Indirect (engineering, CM and Commissioning services) ~~is~~.

### 1.5.1 Direct Cost

Direct costs are based on latest design information, equipment list and vendor quotes for major equipment, prices as submitted by Butler for PEMB, skid fabricator for the process modules and ~~for~~ for the automation work. Major portion of the facility work is based on detailed quantity take off. The estimate is based on 'solid grounds', is considered to be +/- 15% and provides a sound basis for making a business decision.

### 1.5.2 Indirect Cost

The detail engineering cost, construction management and commissioning costs have been discussed with Encapsys a few times in our attempts to explain the same and also to determine ways to reduce it.

We have streamlined our construction approach, we have shared the commissioning services with Encapsys, and reduced engineering cost also to realize a sizable reduction from the previous estimates.

## 1.6 Project Schedule

We have prepared an overall Project Schedule that is included in Section 9. With the proposed work plan, our EPCM approach, we project the facility completion and commissioned in June 2016. The construction plan and completion of the major phases of work, duration of detail design, procurement, and construction phase are summarized in article 9.3.

Our approach to the construction plans is to minimize the field staff and execute work in stages to take an advantage of starting the construction work in favorable weather, follow up with the internal M/E/P work yet meet the overall schedule and the completion milestone.

Details of activities through Detail design, procurement and construction are shown on the schedule.

## 1.7 Phase II execution

Phase II execution will start with lessons learned in Phase I by the Team. We will start Detail Design with items deferred to Phase II and several known items where we need to do more investigation, collect additional data on the existing facility and complete the design. Early focus will be on civil/site work, foundation, PEMB and skids/process modules work.

We will continue to have close communication and weekly meetings throughout the design phase to incorporate the operational design requirements.

Section 9 – Phase II Execution outlines the procurement and construction strategies of the overall EPCM Work plan.

## 1.8 Design items deferred to Phase II

There are a few items that we have deferred to detail design for final development of details. The facility design is at preliminary level, equipment arrangement, distribution of services and construction details of various items will be finalized in the detail design.

From an operation perspective, the spill containment is to be finalized. At present, we show floor sloping to a depressed area in the process module block. The plan is to reduce the slope and collect the spillage in a pit in the truck bay. Once we have the details of existing conditions, this concept will be finalized.

## 2. Civil

### 2.1 Expansion Strategy

The existing facility is an industrial plant located at the end of a service road (West Wisconsin Street Service Road). The parcel is bounded by Interstate 39 and STH 16.

The project is to add an 8,800 square foot plant expansion to accommodate adding another product line. The intent is to complete this expansion without compromising the existing approved stormwater permit, keep the same number of parking stalls, and improve utility performance (sanitary sewer and water main) for the site.

The stormwater management plan watershed is shown in Figure 1 and the grading plan is shown in Figure 2. The intent is that all work will be completed within the detention basin watershed limits and the future parking lot limits.

### 2.2 Site Work Description

The erosion control plan and storm water management plan consist of removing existing storm sewer and structures that would be under the building addition. The erosion control plan consists of gravel tracking pads and inlet protection to prevent construction site soil from leaving the site. The storm water management plan consists of grading the property to continue to drain into the existing detention basin for runoff control. A trench drain will be constructed in the loading dock area with storm sewer directing the runoff into the existing detention basin. Reinforced concrete pipe (Class III) will be used for this storm sewer.

Demolition work consists of the previously mentioned storm sewer removal and pavement removal associated with the sanitary sewer and water main installation along with the new access drive configuration. These materials will be removed from the site.

Site grading will be consistent with the existing site grading and the previously approved site storm water management plan. Grades at the building will range from 821.2 to 822.9 (the building floor elevation at the northeast corner of the addition. With the exception of the loading dock, this will be graded to allow runoff to sheet flow to the detention basin for treatment. The loading dock runoff will be routed to the detention basin via storm sewer.

The site layout will consist of a concrete loading dock, asphalt pavement, and landscaped areas consisting of turf type grass. The concrete loading dock will be 8-inches of reinforced concrete while the asphalt pavement areas will be 5-inches of pavement over 18-inches of aggregate base. The area adjacent to the loading dock will have asphalt slope paving rather than retaining wall. A concrete access sidewalk will be constructed on the south and west sides of the addition. Thirteen parking stalls will be added southeast of the addition to replace the twelve being removed to accommodate the addition.

The sanitary sewer to serve this expansion will be constructed from the existing City of Portage sanitary sewer in West Wisconsin Street Service Road. It will be 8-inch diameter PVC DR 35 pipe with rubber gasket joints and will be constructed around the north and west sides of the existing facilities.

The water main will consist of an 8-inch PVC DR 18 main with push-on rubber gasket joints. It will be extended completely around the facility and addition, connecting the existing mains in the West Wisconsin Avenue Service Road with the one on the south side of the existing facility. The existing hydrant on the south side of the facility will be removed and replaced with a Waterous WB-67 hydrant meeting City of Portage requirements. An additional hydrant will be added on the west side of the existing facility just downstream of the detention basin.

### 3. Architectural

#### 3.1 Overview/Summary

- The proposed Encapsys Project Bermuda building addition is a single story mixed use facility. It is conceived as a pre-engineered building shell with skid based product manufacturing as well as support and shipping and receiving spaces. The facility has been designed without excess equipment, material or space while accommodating its intended purpose.

#### 3.2 Preliminary Building Code Summary

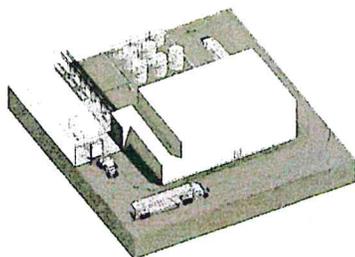
- Due to the unavailability of accurate existing facility construction documentation as well as the access to records retained by the local building department, if any, M+W has not been able to confirm the number of constituent individual buildings, as recognized by current building codes, on the site. Based on the information that does exist, in addition to site observations, we currently believe that the proposed addition will be an addition to a 31,775 square foot limited area building of Type IIB construction. The current Preliminary Building Code Summary is based upon this presumption.
- Preliminary Building Code Summary is presented below.

Preliminary Building Code Summary	
Encapsys – Project Bermuda	
Existing 1 Story Building with Building Addition	
Item	Description
<b>Applicable Building Codes</b>	
Building Code	IBC 2009 (WI Commercial Building Code, Chapter 62)
Structural Code	IBC 2009 (WI Commercial Building Code, Chapter 62)
Plumbing Code	Wisconsin Commercial Building Code, Chapters 81-84
Mechanical Code	IMC 2009 (WI Commercial Building Code, Chapter 64)
Electrical Code	NEC 2008(WI Commercial Building Code, Chapter 16)
Fire/Life Safety Code	2009 NFPA-1 (WI Commercial Building Code, Chapters 14 & 30)
Accessibility Code	ADA Standards (WI Commercial Building Code, Chapter 62)
Energy Code	IECC 2009 (WI Commercial Building Code, Chapter 63)
Gas Code	IFGC 2009 (WI Commercial Building Code, Chapter 65)
Construction Classification (Section 601)	II B
Use Group (302)	F-2 Factory Industrial, Low Hazard
Non-Separated Occupancies (508.3.2)	S-2 Storage, Low Hazard
Separated Occupancies or Buildings (508.3.3)	None
Fully Sprinklered	Yes
ASHRAE Climate Zone	Zone 6a

Preliminary Building Code Summary			
Encapsys – Project Bermuda			
Existing 1 Story Building with Building Addition			
Item	Description		
<b>Allowable &amp; Proposed Height</b>			
Height per Table 503	3 stories/55 feet	F-2	
Height Increase for Fire Sprinklers (504.2)	1 story/20 feet		
Total Allowable Height	4 stories/75 feet		
<b>Allowable &amp; Proposed Area</b>			
Allowable Area per Table 503	23,000 sf	F-2	
	This section provides for two levels of increase: 200 percent for multistory buildings and 300 percent for single-story buildings.		
Area Increase for Fire Sprinklers (506.3)			
Total Allowable Area per floor	46,000 sf		69,000 sf if the existing building is confirmed to be a single story.
Subtotal Existing Main Building	31,775 sf		
Proposed Area of Addition	8,453 sf		
Total Proposed Area (1st floor)	40,228 sf		

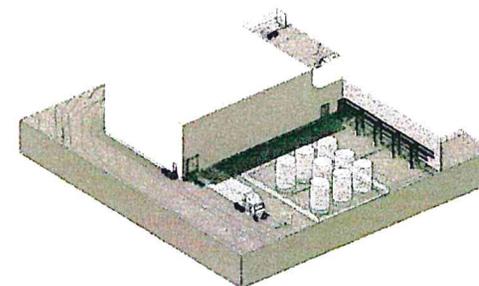
### 3.3 Building Site Placement

- Previous planning efforts by the Encapsys team had determined the best location for the manufacturing addition to be in the southwestern portion of the site. This area is adjacent to the enclosed perfume storage tanks and alongside of the exterior tank farm. The M+W design team has confirmed the appropriateness of this location for the current proposed building addition as well as for possible future expansion.
- Because of site constraints posed by the Wisconsin Department of Natural Resources (DNR) erosion and storm water management plan already approved and in place, as well as traffic circulation logistics of the existing facility, it was determined that the placement of a single loading dock bay at the plan southeast corner of the new building was the best option for material shipping and receiving. This location also works well with the internal product manufacturing flows as well as warehousing of the products.
- A 20 ft. horizontal separation has been provided between the concrete apron of the existing exterior tank farm area and the plan east exterior wall of the new building addition. This separation is for fire department access to the new and existing structures during the event of an emergency. The same new addition wall is one-hour fire rated on this elevation only. The fire rating is not stipulated by the building codes but is required by Factory Mutual Underwriters.



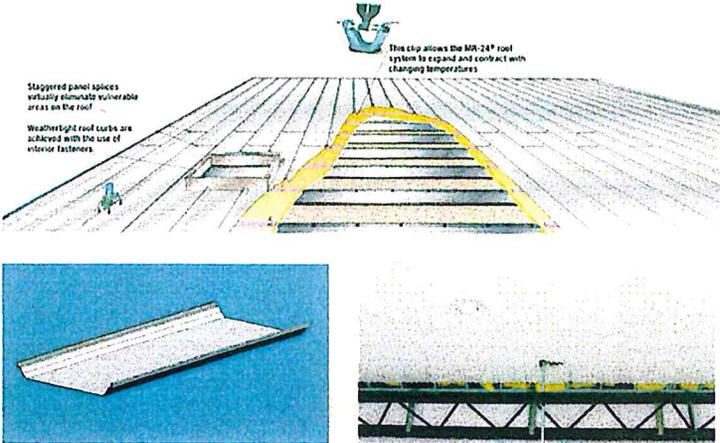
### 3.4 Building Envelope

- The building addition envelope is proposed to be a pre-engineered metal building solution provided by Butler Building. It will consist of a steel frame superstructure with an R-19 insulated prefinished metal panel wall system and an R-30 insulated prefinished standing seam metal roofing system.
- The proposed addition attaches to the existing facility at the perfume tank enclosure which has a building height of approximately 18 ft. above grade. Since the existing roof structure cannot support additional snow loading that will result from a taller adjacent Bermuda building, the immediately adjacent portion of the new addition will need to abut at the same roof elevation so as not to impose additional snow loads onto the existing roof. So a link structure approximately 16 feet wide x 8 feet long of the same height as the existing building is created to connect the two buildings. This will result into a stepped or low and high roof for the building addition. A much higher snow drift loading will now be on the link structure. The low roof also provides for an opportunity to place mechanical equipment on the lower roof for easier access and structural stability.
- The loading dock door is proposed as a 48 in. above grade 10 ft. wide by 12 ft. tall opening. Door is to be a prefinished steel coiling insulated door assembly with heavy duty hydraulic dock leveler. Additional equipment will include dock seals and shelter, dock bumpers, truck restraint and safety signals. A heavy duty exterior trench drain placed for positive drainage is intended to remove any surface water from the loading dock bay.
- Exterior doors are to be insulated heavy duty painted hollow metal with vision panels. Typical hardware is to include lockset, hinges, closer, threshold and weather-stripping. Emergency egress hardware is to be provided where appropriate.
- Butler Building is to provide a framed opening in the building wall structure with removable panels. The opening is to be sized sufficiently to allow equipment, skids, vessels or tanks to be brought into or removed from the building as needed in the future. The location will be determined in the detail design working with the skid manufacturer's details.
- Foundation Insulation is to be continuous R-8 Extruded Polystyrene (XPS) Insulation, ASTM C578.

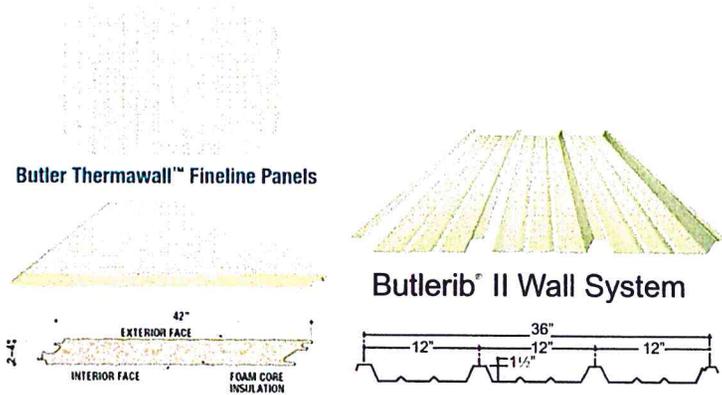


### 3.5 Building Envelope Components

- Roof: Roof assembly is to be composed of Butler MR-24® Roof Panels with 9 1/4" R-30 blanket insulation, Sky-Web II® Fall Protection System and MOD-36 Roof/Ceiling Liner Panel System. The interior and exterior appearance is shown in the illustrations below.



- Wall: Exterior wall assembly is to be composed of Butler Thermawall Finline 2-1/2", R-19 wall panels with Butlerib® II Liner Panel System. The interior and exterior appearance is shown in the illustrations below.

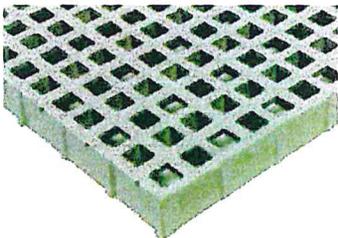


### 3.6 Equipment Platform

The process equipment platform is to be a skid fabricated painted steel structure 16 ft. above finish floor with two OSHA compliant access stairways.

Platform components:

- Flooring – 1 ½ inch deep, ½ inch open grid slip resistant structural grade reinforced fiberglass (FRP) grating.
- Railing – 42 inch high OSHA compliant painted steel guard railing.
- Material Access – 6 ft. wide removable painted steel safety railing for forklift material access to platform.
- Superstructure – Painted steel frame 14 ft. clear above platform decking. Support for pipe racking, electrical and controls raceways and monorail attachment.
- Lighting – Refer to Electrical.



Cool Room and Clean Spaces cap – A concrete cap/floor slab on metal decking is to be provided flush and contiguous with the Equipment Platform flooring. The floor slab is to be flush and detailed without gaps to allow for a contiguous floor surface on the platform level. Decking is to be supported on structural steel frame allowing for the future relocation of partitions below. Exposed concrete is to be placed and cured to receive concrete sealer and finish system.

Rotoclone Enclosure – A 42 inch high gypsum board and steel stud framed enclosure for the Rotoclone will be built on the second level platform above the Cool Room. Exposed surfaces of the enclosure to be covered with fiberglass reinforced plastic (FRP).

Remaning area of the second level concrete floor will be used for palcing electrical equipment such as MCCs. Rallings are to be provided to match those of the Equipment Platform where necessary.

### 3.7 Interior Spaces

Clean Spaces:

- Unisex Coat Room: Space allocated for 18 full height lockers or optionally 36 double height lockers. Approximately 85 sf.
- Men's Toilet: One handicap accessible toilet fixture and compartment; one handicap accessible urinal and screen; one handicap accessible lavatory; accessories as required. Approximately 130 sf.
- Women's Toilet: One handicap accessible toilet fixture and compartment; one standard toilet fixture and compartment; one or two handicap accessible lavatories; accessories as required. Approximately 150 sf.
- Control Room and Process Lab: Space allocated for production process equipment monitoring and control and localized lab quality control diagnostics. Approximately 130 sf.

Clean Space Materials/Finishes:

- Walls – Epoxy paint system on paperless gypsum board on metal stud framing.
- Base – Thermoplastic rubber.
- Floors – Vinyl composition tile (VCT).
- Ceilings – Suspended washable acoustical ceiling tile (ACT) hung from cap framing or decking directly above.
- Doors and Hardware – Interior doors are to be painted hollow metal. Typical hardware is to include passage set, hinges, closer and threshold.
- Lighting – Refer to Electrical

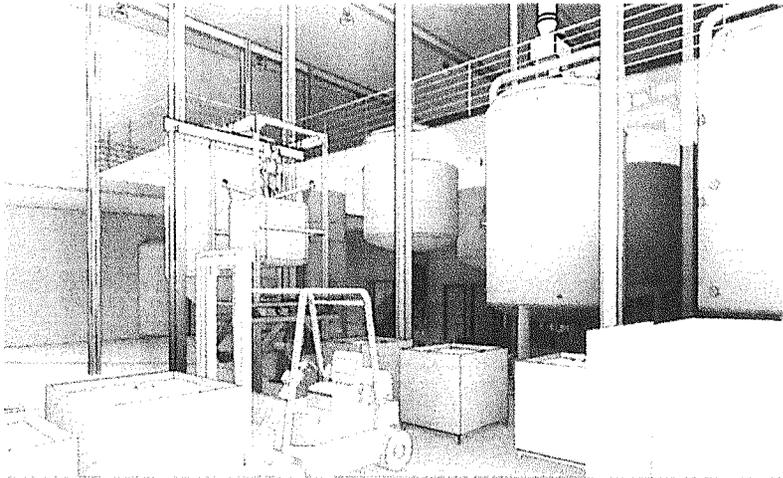


Figure 1: View of Bulk Loading

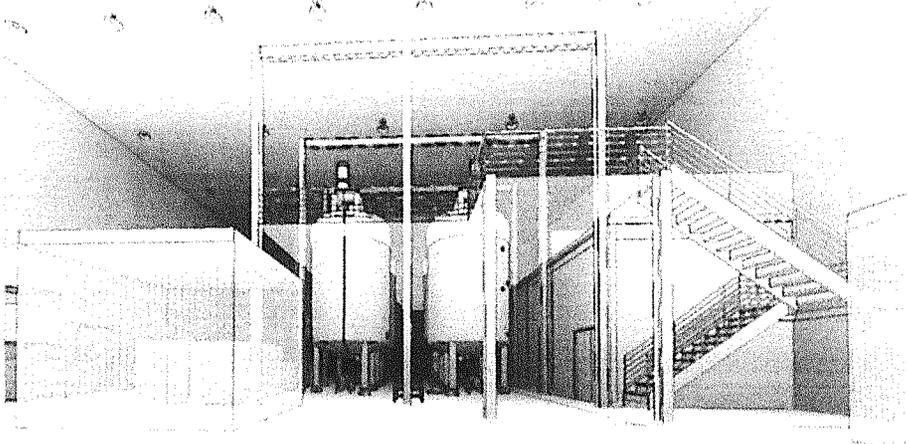


Figure 2: View of Manufacturing Space from adjacent Warehouse

Cool Room: Space allocated for environmental control of temperature sensitive process materials. [REDACTED]

[REDACTED] Approximately 170 sf.

Cool Room Materials/Finishes:

- Walls – Epoxy paint system on paperless gypsum board on metal stud framing.
- Base – Thermoplastic rubber.
- Floor – Exposed concrete properly prepared and cured to receive concrete sealer and finish system.
- Ceilings – Suspended washable acoustical ceiling tile (ACT).
- Door and Hardware – Door is to be painted hollow metal. Hardware is to include lockset, hinges, closer and threshold.
- Lighting – Refer to Electrical.

[REDACTED] Space: Area allocated for a manufactured prefinished steel framed booth with transparent vertical vinyl strip enclosure for the dispensing of xanthan gum powder. Approximately 95 sf.

Tote Filling: Area allocated for a manufactured prefinished steel framed booth with transparent vertical vinyl strip enclosure for the dispensing [REDACTED]. Approximately 150 sf.

Manufacturing Floor Space – Area allocated for process manufacturing equipment skids and platform. Concrete slab on grade sloped ¼ inch per ft. to interior drains for process spill containment. Approximately 5,430 sf.

Warehouse Floor Space – Area allocated for raw and finished material storage, shipping and receiving. Approximately 2,000 sf.

Manufacturing/Warehouse Interior Finishes:

- Exposed Structural Steel – Surfaces properly prepared and primed to receive epoxy paint finish system.
- Exposed Concrete Floor – Surfaces properly prepared and cured to receive concrete sealer and finish system.
- Interior Wall Panel System – Pre-finished pre-engineered Butler® II Liner Panel System.
- Interior Roofing Panel System – Pre-finished pre-engineered Butler MOD-36 Roof/Ceiling Liner Panel System.

### 3.8 Preliminary Energy Code Analysis for Building Addition Shell



## COMcheck Software Version 4.0.0 Envelope Compliance Certificate

#### Section 1: Project Information

Energy Code: **2009 IECC**  
 Project Title: Encapsys Project Bermuda  
 Project Type: Addition

Construction Site	Owner/Agent	Designer/Contractor
Portage, WI	Encapsys, a division of Applon, Inc.	M+W U.S. Inc.
Building Location (for weather data)	Portage, Wisconsin	
Climate Zone	6a	

<b>Building Use: Activity Type(s)</b>	<b>Floor Area</b>
1-Manufacturing Facility - Nonresidential	8453

#### Section 2: Envelope Assemblies and Requirements Checklist

Envelope PASSES: Design 7% better than code.

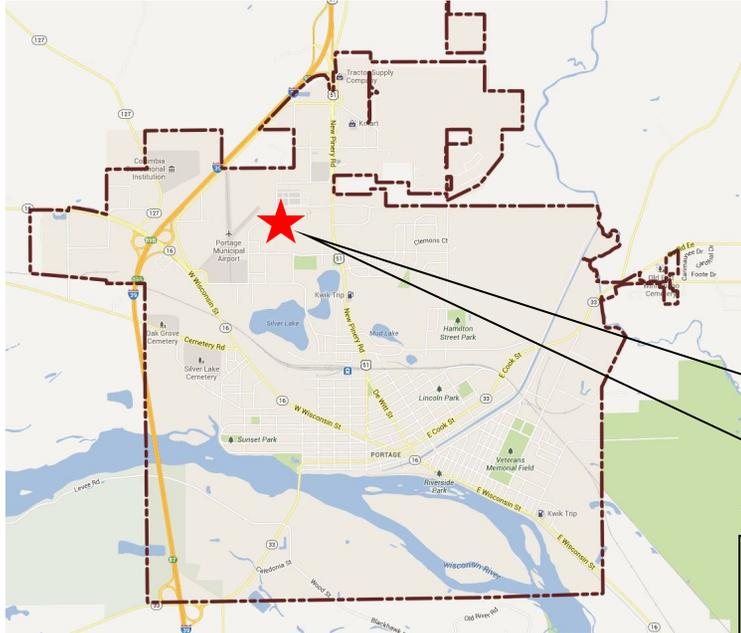
##### Envelope Assemblies:

Component Name/Description	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor <sup>(a)</sup>
Roof 1: Metal Building, Standing Seam [Bldg. Use 1 - Manufacturing Facility]	8453	0.0	30.0	0.032	0.049
Floor 1: Slab-On-Grade Heated, Horizontal with vertical 4 ft [Bldg. Use 1 - Manufacturing Facility]	391	---	8.0	---	---
Exterior Wall 1: Metal Building Wall, Double Layer Mineral Fiber [Bldg. Use 1 - Manufacturing Facility]	13486	19.0	0.0	0.070	0.069
Door 1: Insulated Metal, Non-Swinging [Bldg. Use 1 - Manufacturing Facility]	120	---	---	0.154	0.500
Door 2: Insulated Metal, Swinging [Bldg. Use 1 - Manufacturing Facility]	117	---	---	0.157	0.700

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.



# CITY OF PORTAGE, WI



## Rolling Woods Estates Parcel #2512.29



**CITY OF PORTAGE**

115 West Pleasant Street  
Portage, Wisconsin 53901  
Telephone: (608) 742-2176 • Fax: (608) 742-8623



*"Where the North Begins"*

Created: 04/16/2014

## Memorandum

TO: Plan Commission

FROM: Steve Sobiek, Director-Business Development and Planning

DATE: July 15, 2015

RE: Rolling Woods Estates Leasing Office/Maintenance Building

CC: Shawn Murphy, City Administrator

Bob Redelings, City Engineer/ Public Works Director

Premier Real Estate Development has proposed adding a small leasing office and maintenance building for its Rolling Woods Estates apartment development, Phase 1, on parcel 2490.02, 2548 Airport Road, between buildings 4 and 7. The parcel is zoned R-5 Large Scale Multi-Family

A set of construction drawings was submitted with a completed Developer's Checklist.

No stormwater calculations were provided. It's evident the amount of impervious area is less than 1% of the total site impervious area and wouldn't warrant a modification of the stormwater detention system.

The proposed utility extensions are appropriate for the building, but a shut off valve (curb stop) is required on the water lateral.

The development's previous landscaping plan as submitted will cover the small additional building .

CITY OF PORTAGE  
115 West Pleasant Street  
Portage, WI 53901

DEVELOPER CHECKLIST TO BE COMPLETED FOR  
PLAN COMMISSION CONSIDERATION.

Address of project: Airport Road Owner: Premier Rolling Woods, LLC  
Description of project: 84-Unit Apartment Complex (Phase One)  
Contact Person: Thomas Wood Contact Phone: (920) 733-8377

This checklist must be completed and returned with your submittal set at least 21 days prior to the Plan Commission Meeting with a check for the applicable fees. Your application will be approved, conditionally approved, tabled or denied. Only complete applications can be reviewed in a timely manner. Not all items may apply to your project.

Plan and Engineering Report Sets

- 1. All sheets shall be of uniform size (we recommend 22" x 34"). Two (2) full-size sets are required, plus seven (7) sets of 11"x17" size drawings of the site plan, and two (2) letter-size copies of the Engineering Reports, all bound for the Plan Commission, signed and sealed, as applicable.
- 2. All plans must be drawn to scale.
- 3. All pages and/or plan sheets shall be numbered.
- 4. The seal and signature of the surveyor, engineer, or architect who is responsible for plan preparation shall appear on the index page (unless waived by the City Engineer).
- 5. Submit one (1) set of plans directly to the Portage Fire Chief for review and comments. N/A

Title, Site Plan Layout, and Streets

- 1. Name of project, address, legal description of property, description of proposed use and zoning district.
- 2. Location Map.
- 3. North arrow, date of preparation, revision dates, and scale.
- 4. Show and name adjacent and surrounding streets.
- 5. Show recorded property lines and their dimensions.
- 6. Show all existing and proposed public and private easements for utility, drainage, sewer, parking, access, and other purposes, and all easements on surrounding properties benefiting the subject property.
- 7. Fundamental aspects of all existing and proposed buildings, including use of each structure, dimensions, number of stories, and their locations on the parcel.
- 8. If buildings are to be removed, the site plan shall so indicate. N/A
- 9. Dimension all yard setbacks for buildings and off-street parking.
- 10. Gross floor area for existing buildings and proposed additions listed separately. For parking calculations, floor area will be determined as the area to be used for a particular use (e.g., sale of merchandise, servicing of customers, manufacture, warehouse). Number of existing and future employees is required for parking calculations. N/A
- 11. When abutting a site plan project, any public right-of-way needs to be identified with accurate locations for existing and proposed facilities such as underground utilities, streets, curbs, sidewalks, project driveways, and driveways on opposite street frontages. N/A
- 12. Traffic aspects of existing and proposed driveways and parking lot including arrows to show traffic flow, parking stall sizes (180 square feet minimum) and layout, handicap stalls and ramps, loading zones, driveway widths and radii or flares on driveway aprons to public streets. N/A
- 13. Show barriers, curbing, or wheel stops located to prevent any portion of a vehicle from projecting beyond property lines. Also, indicate barriers constructed and anchored to prevent dislocation. N/A
- 14. A note shall appear on the face of the site plan that indicates the calculations for parking and loading requirements. Plans for any joint use of parking must be in writing and attached. N/A
- 15. The location of sidewalks, other pedestrian-type walkways, traffic control dividers, and tree islands.
- 16. Location of existing and proposed signage. Sign elevation showing the height from bottom of sign to grade, overall height, and face dimensions. N/A

- 17. Location, height, elevations, and materials of all fences or retaining walls. N/A
- 18. Location, type, height, and size of all outside storage including required screening. N/A
- 19. Identify whether existing or proposed buildings will contain a fire protection system. Show on-site fire hydrants and fire hose connection points. N/A
- 20. State whether a Lock Box will be provided for Fire Department access. N/A
- 21. State what type of product(s) will be manufactured, sold and/or stored on-site. N/A
- 22. State all types of hazardous materials to be stored on-site. If none, state "no hazardous materials will be stored on-site." N/A
- 23. Show location of all mechanical equipment and type of screening.
- 24. Show proposed sidewalks and handicap access with grade elevations at driveways.

**Utilities, Grading, and Drainage Plan**

- 1. Identify existing topography (by dashed lines) at one-foot intervals depending on slopes being depicted, and proposed grade elevations (solid lines) for the building, parking lot, drives, surrounding open areas, and including all property within 50 feet (also using contour lines and spot elevations and drainage flow arrows as needed to define drainage patterns). N/A
- 2. List all existing and proposed grades for first floor.
- 3. Show details of all existing and proposed retaining walls and the location of swales and inlets. N/A
- 4. Show proposed sidewalk(s) abutting all street frontages at all driveways. Show elevations of sidewalk at property line in accordance with City standards.
- 5. Provide a storm water management plan to include the lot size, building location, location of impervious areas, size and location of drainage basin(s), proposed flow direction arrows, detention pond footprint, depth of detention pond, detention pond discharge location, size, and overflow, and peak flows off-site. The storm water management plan shall serve to minimize regional peak discharges and volume increases and plan for improved water quality and construction site erosion control. Be advised that different sites may have different requirements and/or concerns based on geography, scope of the project, and proximity to the receiving body of water or storm sewer collection system. N/A

**Landscaping & Lighting Plan**

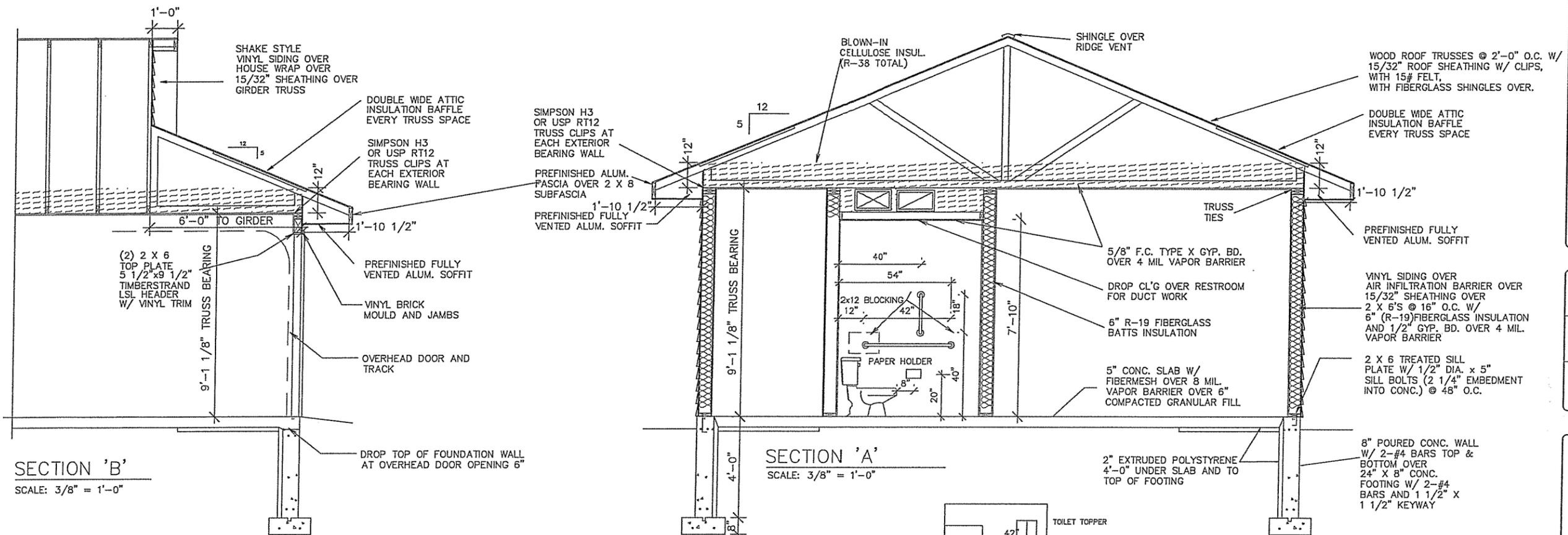
- 1. Locate significant existing trees and indicate whether they will remain, be relocated, or be removed. Identify any other significant vegetation, which is to remain. N/A
- 2. Identify the location, size, species, and variety of proposed trees, shrubs, ground cover, and other landscape features that will be used to control erosion or screen parking, truck loading, refuse disposal, mechanical equipment, and outdoor storage from adjacent residential districts or public rights-of-way. N/A
- 3. Show the location of existing and proposed buildings, parking lots, walks, driveways, fences, water features, retaining walls, signs, mechanical equipment, and recreational facilities.
- 4. Identify type of finishing materials, including seeded grass, sod, type of mulch in planting beds, pavers, concrete, and asphalt. Show a table that describes the percentage relative to the overall development area that the buildings, hard surface, and green spaces contain. Do not include street right-of-way areas. N/A
- 5. Locate the refuse and recycle containers and enclosures and provide a construction detail.
- 6. Identify all exterior lighting fixtures, either mounted on the building or free-standing light along with dispersion pattern, intensity of light and cut-off shielding that reflects light downward and which prevents the light source from being visible from adjacent properties. N/A

**Architectural & Construction Plans**

- 1. Dimensioned elevations of all exterior walls (photographs may be substituted for existing elevations to remain unchanged).
- 2. Type of Roof, wall and trim materials, colors, and textures.
- 3. Changes or additions to existing buildings or materials clearly identified.
- 4. Location and presence of all fire rated wall assemblies.

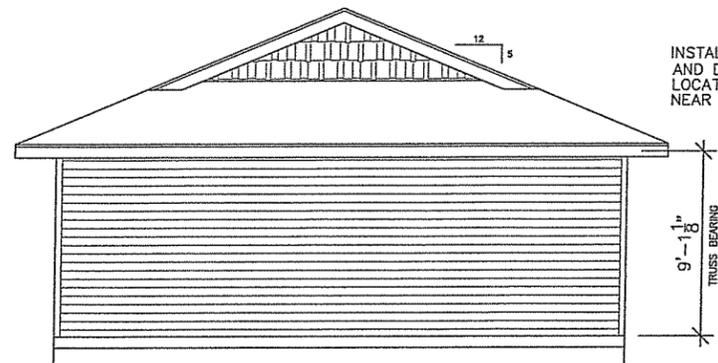
Completed by: Thomas Wood  
 Signature: Thomas M. Wood

Date: 7/2/2015

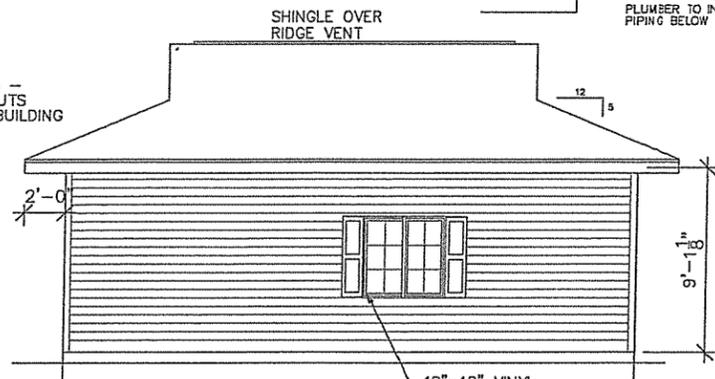


**SECTION 'B'**  
SCALE: 3/8" = 1'-0"

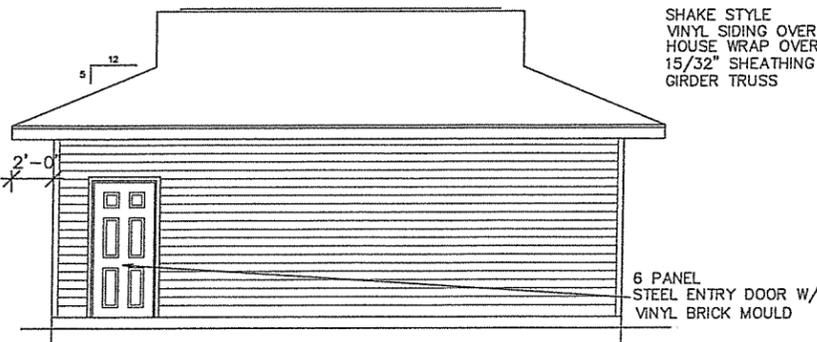
**SECTION 'A'**  
SCALE: 3/8" = 1'-0"



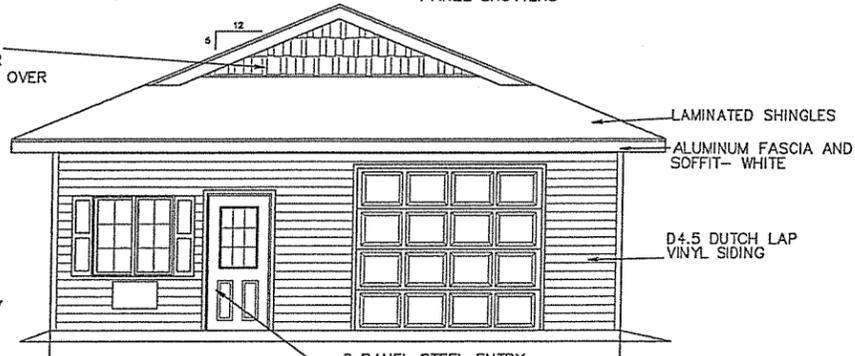
**BACK ELEVATION**  
SCALE: 1/4" = 1'-0"



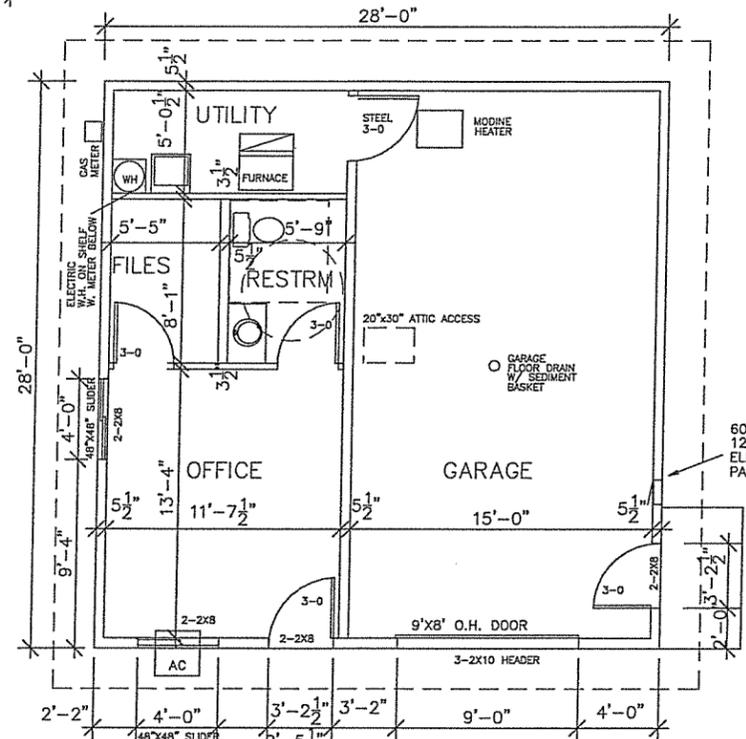
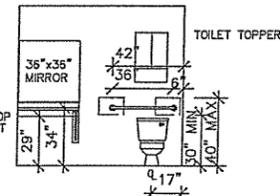
**SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

4227 PITCO ROAD  
Green Bay, Wisconsin 54313  
PHONE 920-865-1719  
FAX 920-865-1720

**NEW**  
ARCHITECTURE, INC.

REVISION	
DATE	5/12/15
JOB NO.	

PREMIER OFFICE GARAGE  
FOR PREMIER REAL ESTATE MANAGEMENT  
APPLETON, WISCONSIN

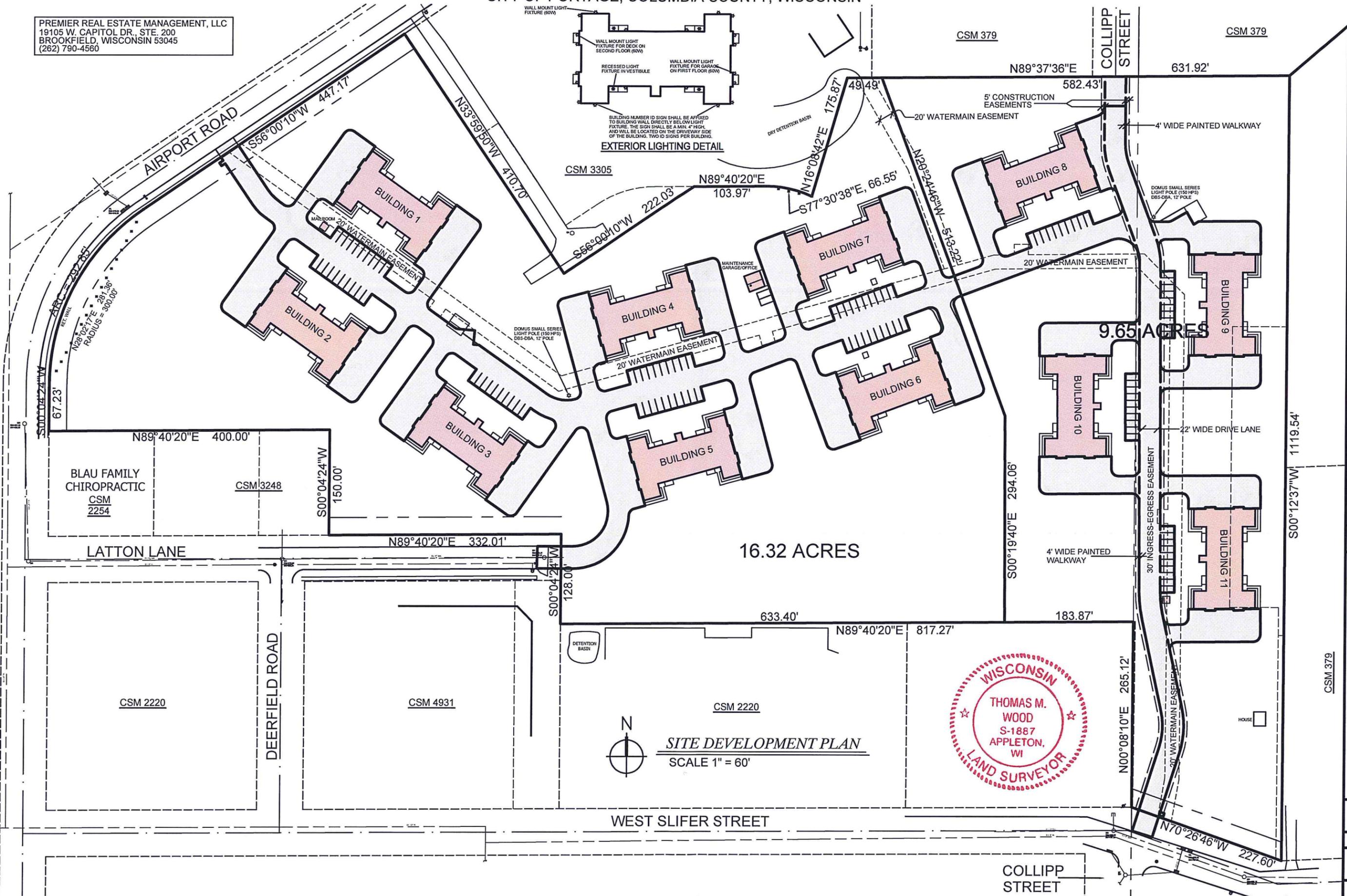
OFFICE MAINTENANCE GARAGE  
FLOOR PLAN  
EXTERIOR ELEVATIONS



# ROLLING WOODS ESTATES

CITY OF PORTAGE, COLUMBIA COUNTY, WISCONSIN

PREMIER REAL ESTATE MANAGEMENT, LLC  
19105 W. CAPITOL DR., STE. 200  
BROOKFIELD, WISCONSIN 53045  
(262) 790-4560



*SITE DEVELOPMENT PLAN*  
SCALE 1" = 60'



HARRIS & ASSOCIATES, INC.  
CONSULTING ENGINEERS  
AND LAND SURVEYORS  
7718 NORTH MEADE ST.  
APPLETON, WI 54911  
TEL: (920) 733-8377  
FAX: (920) 733-4731

REV. NO.	DESCRIPTION	DATE	BY

**PROJECT:** PREMIER ROLLING WOODS, LLC  
ROLLING WOODS ESTATES  
**LOCATION:** AIRPORT ROAD, CITY OF PORTAGE  
COLUMBIA COUNTY, WISCONSIN  
**DESCRIPTION:** OVERALL SITE DEVELOPMENT PLAN  
DRAWN BY: TMW  
CHECKED BY: [ ]  
DATE: 05/19/14  
SHEET: C1.0  
PROJECT NUMBER: 7392

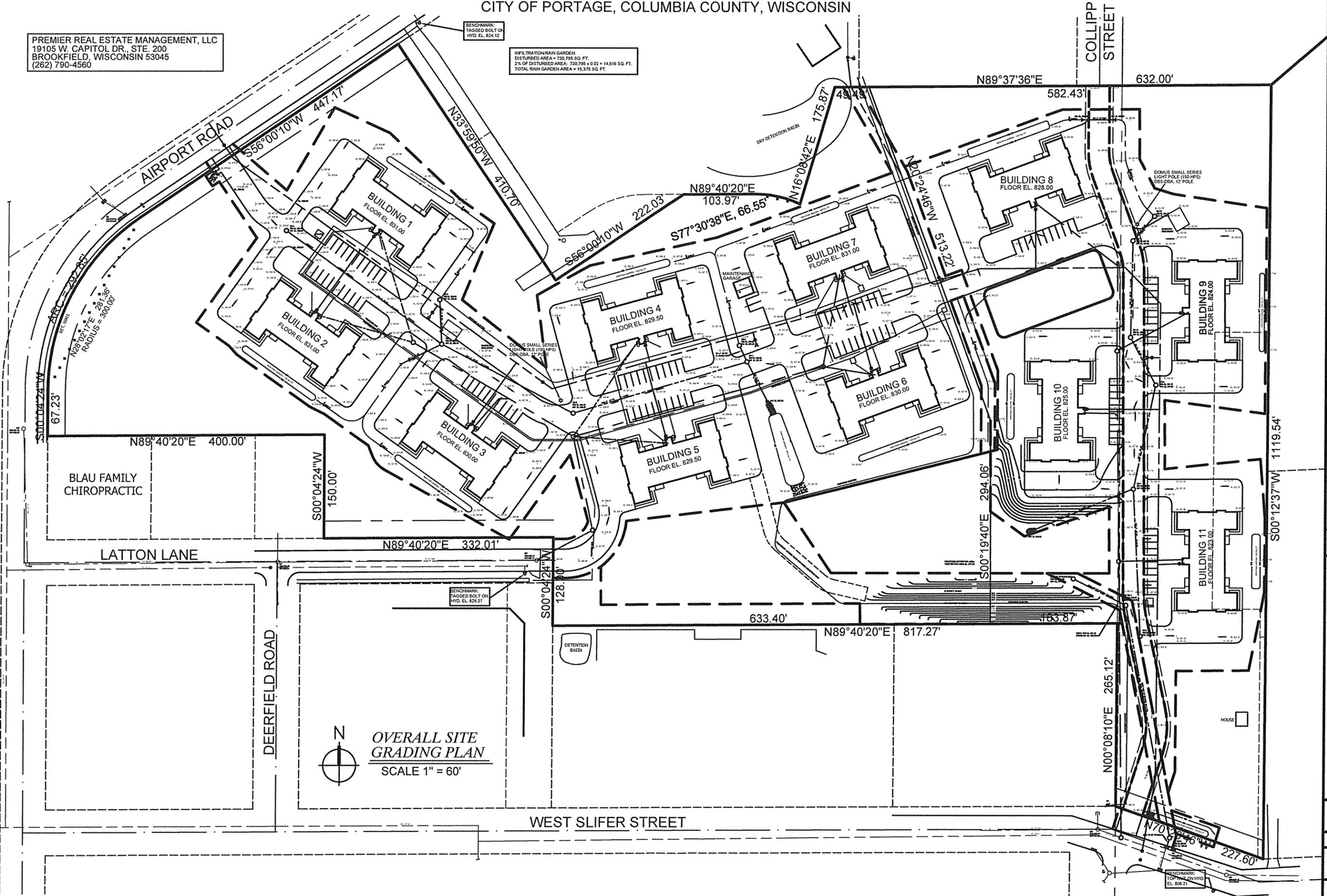
# ROLLING WOODS ESTATES

CITY OF PORTAGE, COLUMBIA COUNTY, WISCONSIN

PREMIER REAL ESTATE MANAGEMENT, LLC  
19105 W. CAPITOL DR., STE. 200  
BROOKFIELD, WISCONSIN 53045  
(262) 790-4560

BENCHMARK:  
TAGGED BOLT ON  
HYD. EL. 824.12

INFILTRATION RAIN GARDEN:  
DISTURBED AREA = 730,795 SQ. FT.  
2% OF DISTURBED AREA = 730,795 x 0.02 = 14,616 SQ. FT.  
TOTAL RAIN GARDEN AREA = 15,375 SQ. FT.



**OVERALL SITE GRADING PLAN**  
SCALE 1" = 60'

HARRIS & ASSOCIATES, INC.  
CONSULTING ENGINEERS  
AND LAND SURVEYORS  
2718 NORTH BEVIE ST.  
APPLETON, WI 54911  
TEL: (920) 733-0377  
FAX: (920) 733-4731

**PREMIER**  
REAL ESTATE MANAGEMENT, LLC  
THESE PLANS ARE THE PROPERTY OF PREMIER REAL ESTATE MANAGEMENT, LLC. ANY  
REPRODUCTION OR TRANSMISSION IN ANY FORM OR BY ANY MEANS WITHOUT THE  
WRITTEN PERMISSION OF PREMIER REAL ESTATE MANAGEMENT, LLC IS PROHIBITED.

REV. NO.	DESCRIPTION	DATE	BY	CHK
A	PHASE I REVISION	01-15-14		

**PROJECT:** PREMIER ROLLING WOODS, LLC  
ROLLING WOODS ESTATES  
**LOCATION:** AIRPORT ROAD, CITY OF PORTAGE  
COLUMBIA COUNTY, WISCONSIN  
**DESCRIPTION:** OVERALL SITE GRADING PLAN

DRAWN BY: TMW  
CHECKED BY:  
DATE: 05/19/14  
SHEET  
**C2.0**  
PROJECT NUMBER  
7392

# ROLLING WOODS ESTATES

CITY OF PORTAGE, COLUMBIA COUNTY, WISCONSIN

PREMIER REAL ESTATE MANAGEMENT, LLC  
19105 W. CAPITOL DR., STE. 200  
BROOKFIELD, WISCONSIN 53045  
(262) 790-4560

BENCHMARK  
TAGGED BOLT ON  
HYD. EL. 824.12

BENCHMARK  
TAGGED BOLT ON  
HYD. EL. 826.27

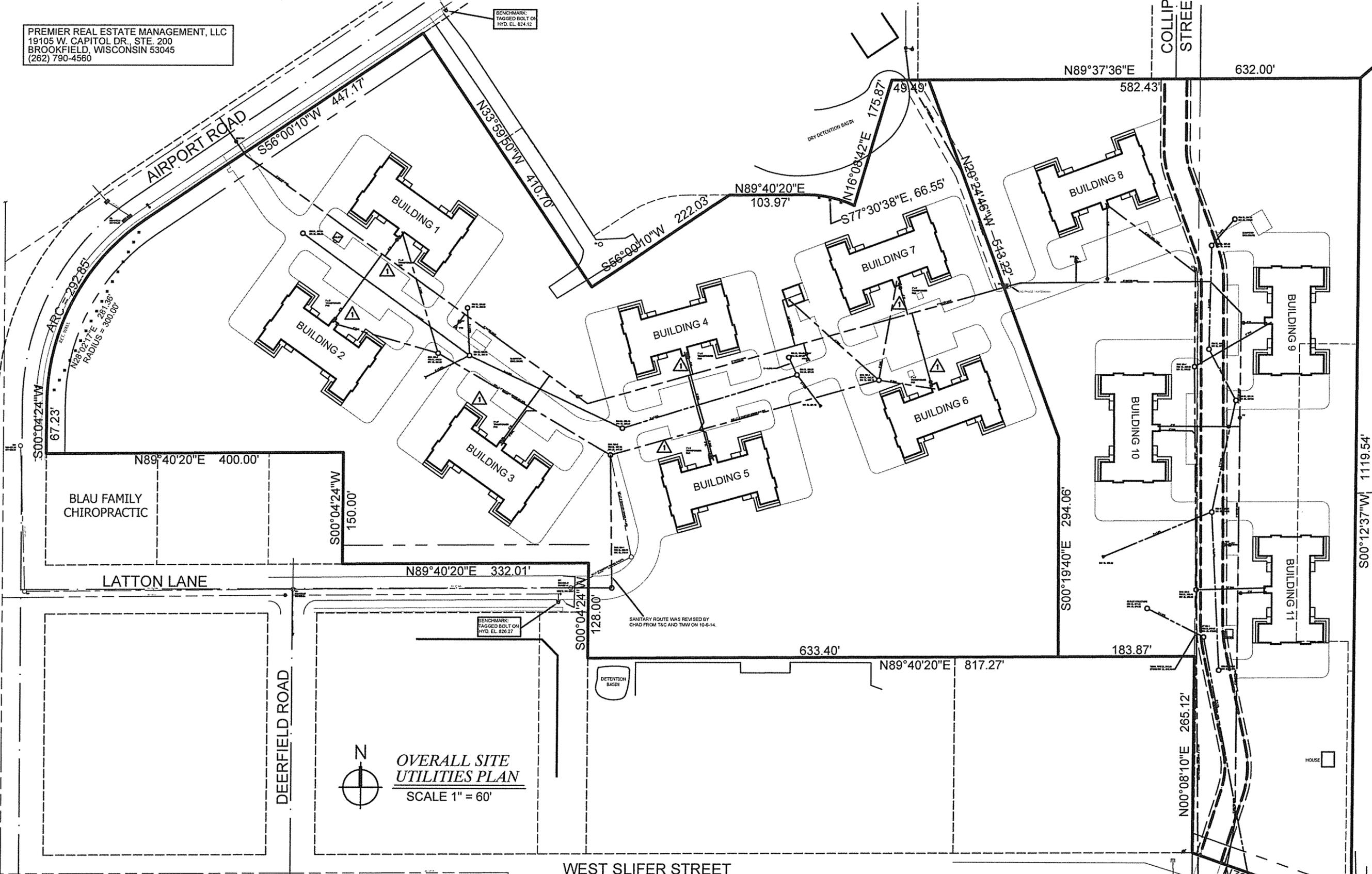
BENCHMARK  
TOP OF 2" HYD  
EL. 806.21

**OVERALL SITE UTILITIES PLAN**  
SCALE 1" = 60'

SANITARY ROUTE WAS REVISED BY  
CHAD FROM T&C AND TMW ON 10-6-14.

DETECTION  
BASIN

DRY DETENTION BASIN



**HARRIS**  
& ASSOCIATES, INC.  
CONSULTING ENGINEERS  
AND LAND SURVEYORS  
7718 NORTH WEDGE ST.  
APPLETON, WI 54911  
TEL: (920) 733-8377  
FAX: (920) 733-4731

**PREMIER**  
REAL ESTATE MANAGEMENT, LLC  
19105 W. CAPITOL DR., STE. 200  
BROOKFIELD, WI 53045  
TEL: (262) 790-4560  
FAX: (262) 790-4561

REV. NO.	DESCRIPTION	DATE	BY	CHK
1	ISSUED FOR PERMITS	05/19/14	TMW	CHD
2	PHASE II REVISION	01/15/15	TMW	CHD

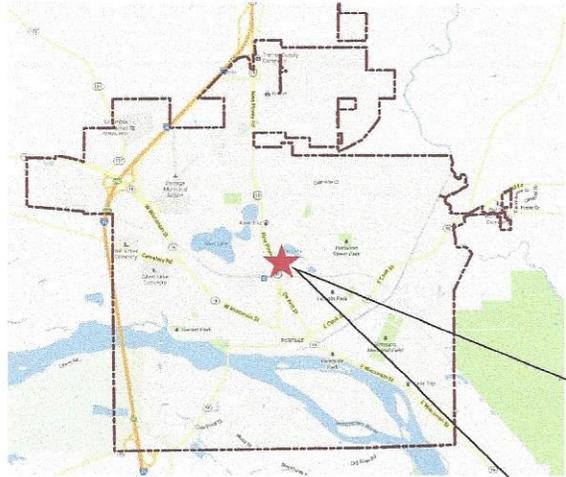
**PROJECT:** PREMIER ROLLING WOODS, LLC  
ROLLING WOODS ESTATES  
**LOCATION:** AIRPORT ROAD, CITY OF PORTAGE  
COLUMBIA COUNTY, WISCONSIN  
**DESCRIPTION:** OVERALL SITE UTILITIES PLAN

**DRAWN BY:** TMW  
**CHECKED BY:**

**DATE:** 05/19/14

**SHEET:** C3.0

**PROJECT NUMBER:** 7392



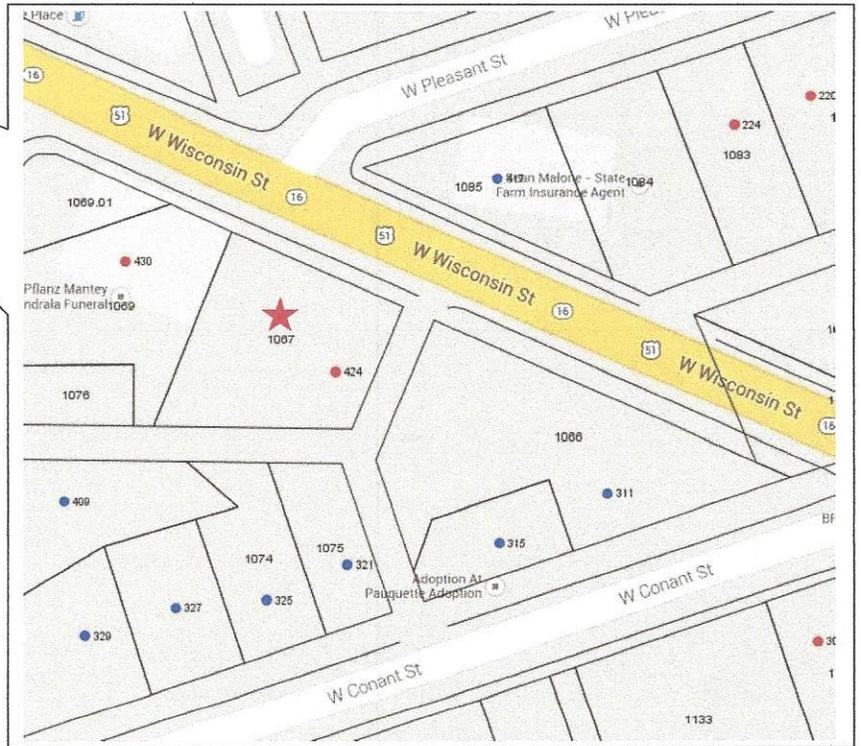
# CITY OF PORTAGE, WI



NTS

## Site Plan Parcel #1067

Parking Lot at 424 W. Wisconsin St.



**CITY OF PORTAGE**



115 West Pleasant Street  
Portage, Wisconsin 53901  
Telephone: (608) 742-2176 • Fax: (608) 742-8623

*Where the North Begins*

Created: 10/14/2014

MEMORANDUM

TO: Plan Commission

FROM: Steve Sobiek, Business Development and Planning Director

Subject: Pflanz Funeral Home parking Lot expansion

DATE: July 15, 2015

CC: Shawn Murphy, City Administrator

Bob Redelings, City Engineer

As a follow up to the Pflanz Funeral Home parking lot expansion project reviewed by the Commission at its October, 2014 and May, 2015 meetings, staff met with Ms. Munz and Mr. Hamele.

The revised plan proposes to have "right turn only" signs placed at the exit onto W. Wisconsin St. The applicant would like to move this proposal forward and is reluctant to provide internal circulation, but may agree to this measure if convinced it is necessary.

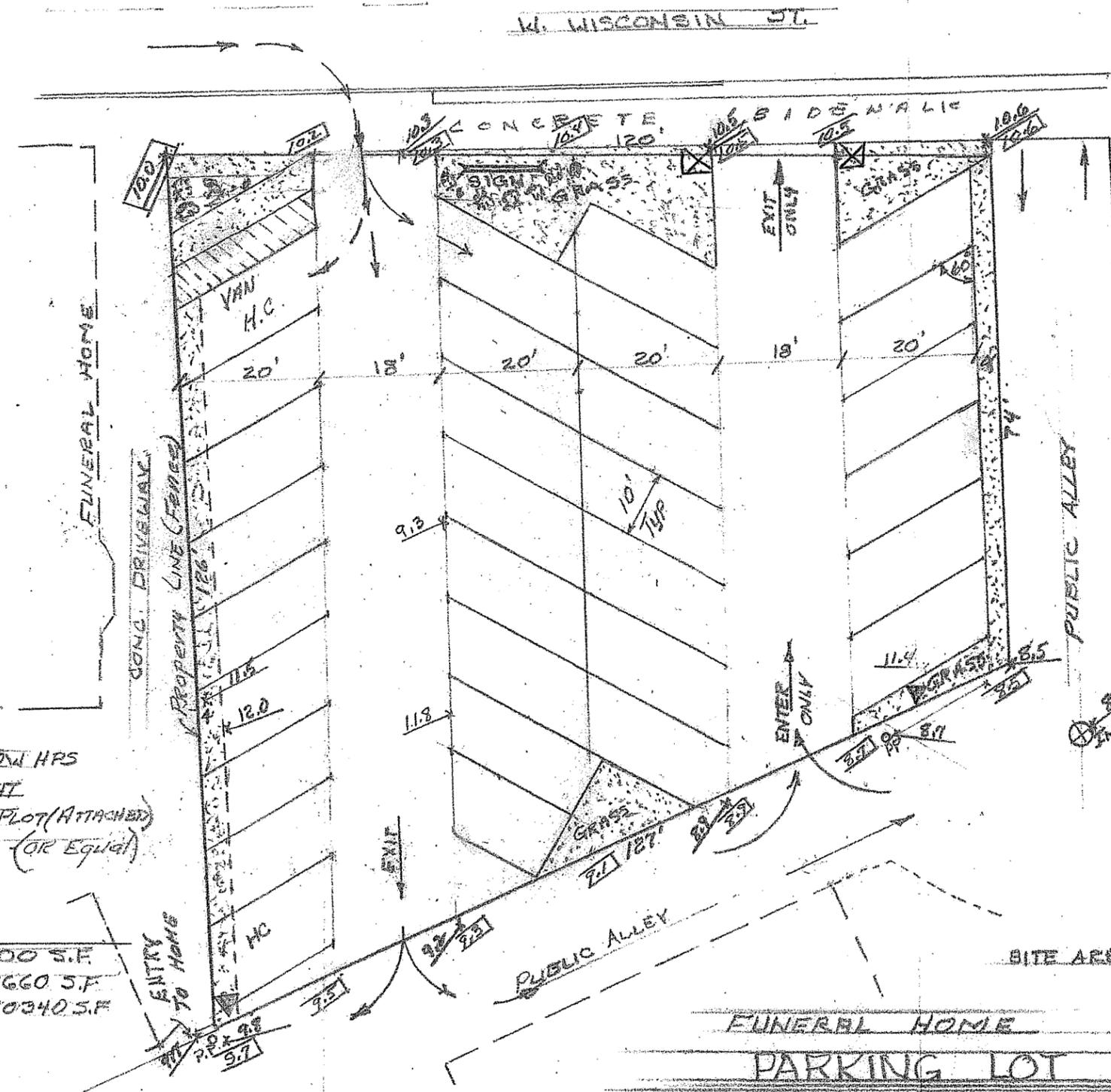
The applicant will need to pay a fee in lieu of stormwater detention, but no fee calculation has been provided for review.

The landscaping plan and points of 120 points, including 30 percent trees and 40 percent shrubs, for the 30 parking lot stall parking lot, now meets Code requirement.

The lighting plan shown on site plan, along with the photometrics, now shows adequate lighting for the proposed parking lot.

424 W.  
WISC.  
Pflanz

☒ Right turn only  
signs JM-8K



70.0 FINAL GRADE ELEV'S  
0.00% EXIST. ELEV.  
WIS ST SIDEWALK IS ESTABLISHED grade AND ALLEY NEW ASPHALT IS ESTABLISHED grade AT ALLEY.  
ELEVATION are shown.

**PARKING LOT FLOOD**  
LPR3 SERIES. USE 150W HPS  
AT 15' MOUNTING HEIGHT  
SEE ISOFOOT CANDLE PLOT (ATTACHED)  
2 FIXTURES POLE (OR EQUIV)

30 PARKING SPACES  
80 POINTS PER 20 SPACES = 80x15 = 120PTS

**Landscaping Plant Species**  
Low Deciduous Trees 3x10 = 30PTS  
Med SHRUBS 3x15 = 45PTS  
PERENNIALS  
Alley Tri. Sign Area 50SF 50PTS  
OR OTHER SPECIES SELECTED BY OWNER

SITE AREA 12000 S.F.  
GREEN AREA 1660 S.F.  
PAVED AREA 10340 S.F.

FUNERAL HOME  
**PARKING LOT PLAN**

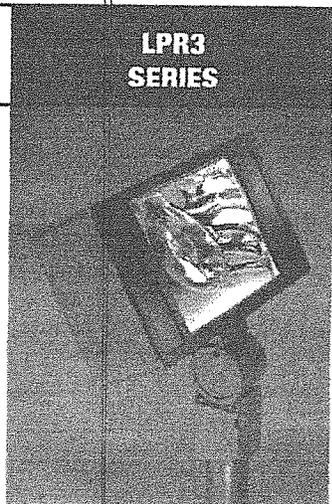
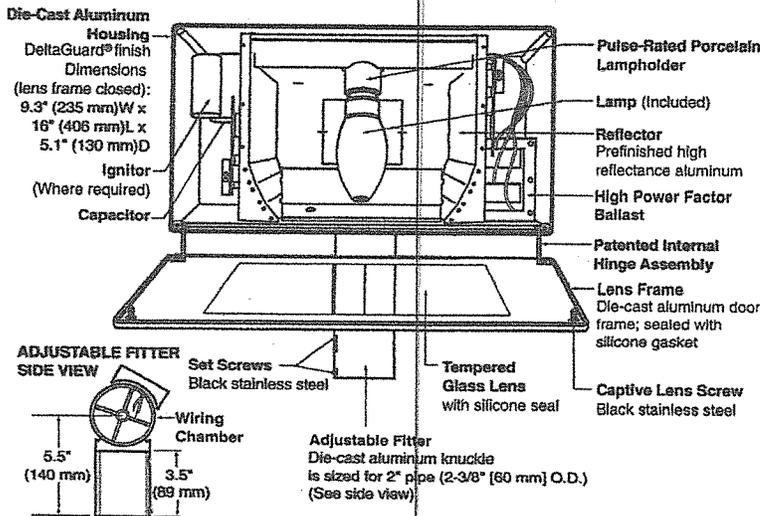
LOT 3 & LOT 4 BLOCK 237  
J.J. GUPPEYS AMENDED PLAT

PFLANZ MANTLEY MENDRALA

SCALE 1"=20'

2" ADJUSTABLE FITTER

RECTANGULAR PARKING/ROADWAY FLOOD



LPR3 SERIES

Notes

SPEC #	WATTAGE	CATALOG #
<b>PULSE START METAL HALIDE</b>		
<input type="checkbox"/> SPEC #	50W PSMH	LPR3405-(a)(b)
<input type="checkbox"/> SPEC #	70W PSMH	LPR3407-(a)(b)
<input type="checkbox"/> SPEC #	100W PSMH	LPR3410-(a)(b)
<input type="checkbox"/> SPEC #	150W PSMH	LPR3615-(a)(b)
<b>HIGH PRESSURE SODIUM</b>		
<input type="checkbox"/> SPEC #	50W HPS	LPR3505-(a)(b)
<input type="checkbox"/> SPEC #	70W HPS	LPR3507-(a)(b)
<input type="checkbox"/> SPEC #	100W HPS	LPR3510-(a)(b)
<input type="checkbox"/> SPEC #	150W HPS	LPR3515-(a)(b)

Specify (a) Voltage & (b) Options.

(a) VOLTAGE SUFFIX KEY	
D	120/277V (Standard: 50W HPS)
M	120/208/240/277V (Standard: PSMH; 70 – 150W HPS)
T	120/277/347V (Canada Only) (Standard: 70 – 150W PSMH; 70 – 150W HPS)
1	120V
2	277V
27	277V Reactor (150W PSMH Only)
3	208V
4	240V
5	480V (70 – 100W HPS)
6	347V (Canada Only)

For voltage availability outside the US and Canada, see Bulletin TD-9 or contact your Ruud Lighting authorized International Distributor.

(b) OPTIONS (factory-installed)	
-(a)F	Fusing
J	Tamperproof Lens Fasteners
-5P	External Photocell (for 480V)

Specify (a) Single Voltage — See Voltage Suffix Key

**GENERAL DESCRIPTION**

Parking lot and roadway luminaire for HID lamp, totally enclosed. Supplied with IES Type III asymmetric distribution pattern. Housing is seamless, die-cast aluminum. Aluminum die-cast adjustable fitter mounting is sized for 2" pipe (2-3/8" [60 mm] O.D.). Allows for directional aiming as well as 2-1/2" incremental vertical adjustment. Contains integral wiring compartment. Two stainless-steel set screws provide clamping to vertical tenons. Lens assembly consists of rigid aluminum frame and high-impact, clear-tempered glass.

**LABELS**

ANSI lamp wattage label supplied, visible during relamping. UL Listed in US and Canada for wet locations.

**ELECTRICAL**

Fixture includes clear, medium-base lamp. Pulse-rated porcelain enclosed, 4kv-rated screw-shell-type lampholder. Lamp igniter included where required. All ballast assemblies are high-power factor and use the following circuit types:

- 120V Reactor  
50 – 150W HPS
- 277V Reactor  
150W PSMH
- HX — High Reactance  
50 – 150W PSMH; 50 – 150W HPS

**FINISH**

Exclusive Colorfast DeltaGuard® finish features an E-coat epoxy primer with medium bronze ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. The finish is covered by our seven-year limited warranty.

**PATENT**

US 4,689,729

**ACCESSORIES**

LS-L	Polycarbonate Vandal Shield (not for use with fixtures in upright position)
PC-1	Button Photocell (for fixtures set to 120V)
PC*6	Button Photocell (for fixtures set to 347V)
PC-2	Button Photocell (for fixtures set to 208, 240, 277V)
PGM-1	Ground Mount Post
SBL-L	Backlight Shield
TPS-1	Tamperproof Screwdriver
WG-L	Wire Guard



**LPR3  
SERIES**

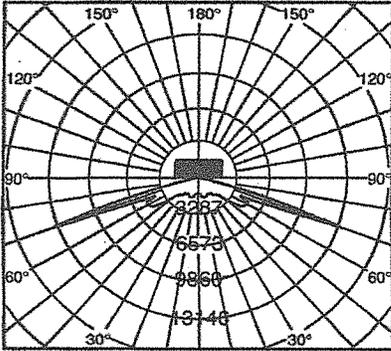
**2" ADJUSTABLE FITTER**

**RECTANGULAR PARKING/ROADWAY FLOOD**

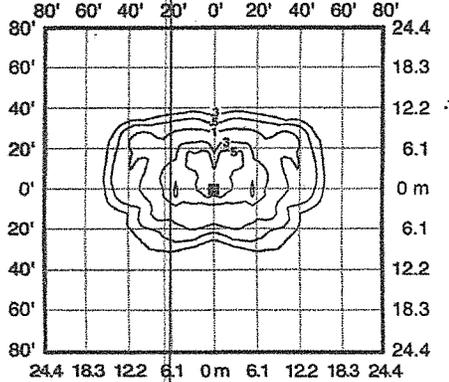
**EPA RATING**

EPA 0.60 for single fixture with 0° tilt (Consult factory for EPA rating on multiple units).

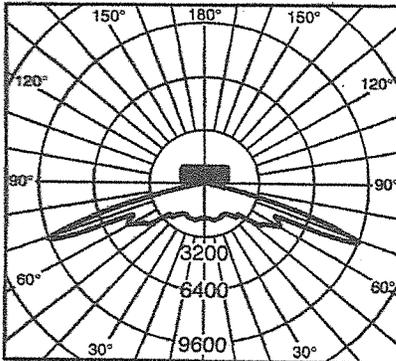
Isofootcandle plots show initial footcandles at grade. (Footcandles ÷ 0.0929 = Lux)



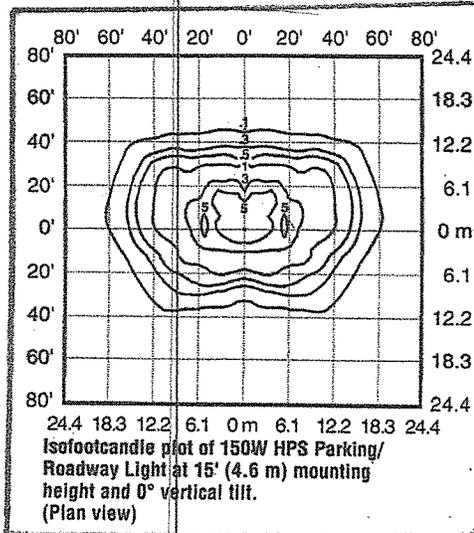
Independent Testing Laboratories, Inc.  
Certified Test Report No. LSI 55884  
Candlepower distribution curve of 150W  
PSMH Rectangular Parking/Roadway Light.



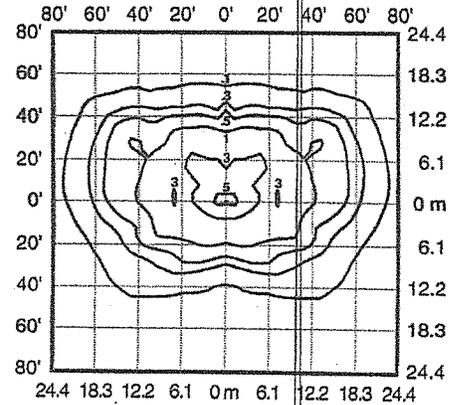
Isofootcandle plot of 150W PSMH Parking/  
Roadway Light at 15' (4.6 m) mounting  
height and 0° vertical tilt.  
(Plan view)



Lighting Sciences Inc.  
Certified Test Report No. LSI 10110  
Candlepower distribution curve of 150W HPS  
Rectangular Parking/Roadway Light.

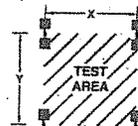


Isofootcandle plot of 150W HPS Parking/  
Roadway Light at 15' (4.6 m) mounting  
height and 0° vertical tilt.  
(Plan view)



Isofootcandle plot of 150W HPS Parking/  
Roadway Light at 20' (6.1 m) mounting  
height and 0° vertical tilt.  
(Plan view)

**Pole-spacing Example Data**



Test area is centered within a (16) pole layout.  
**Max. Recommended Pole-spacing**

**Average Initial Light Levels at Grade**  
**2 Fixtures per pole @ 180°**  
(Footcandles ÷ 0.0929 = Lux)

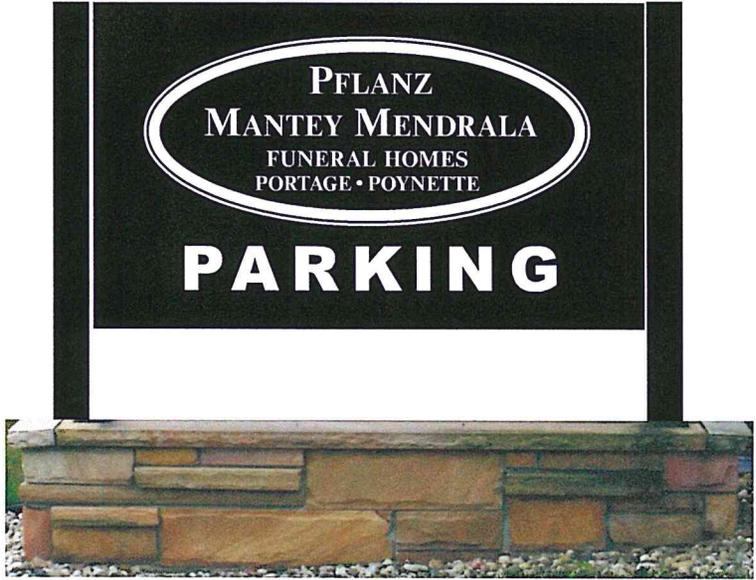
Catalog #	Lamp Type	Lamp Lumens	Mounting Height	Max. Recommended Pole-spacing X x Y	Average Initial Light Levels at Grade Footcandles	Average Initial Light Levels at Grade Lux
LPR3410-M	100W PSMH	8,100	10' (3.0 m)	60' (18.3 m) x 40' (12.2 m)	5.84	68
LPR3615-M	150W PSMH	12,600	15' (4.6 m)	90' (27.4 m) x 60' (18.3 m)	2.48	27
LPR3510-M	100W HPS	9,500	10' (3.0 m)	90' (27.4 m) x 60' (18.3 m)	3.87	42
LPR3515-M	150W HPS	16,000	15' (4.6 m)	120' (36.6 m) x 80' (24.4 m)	2.11	23
			10' (3.0 m)	60' (18.3 m) x 40' (12.2 m)	7.32	79
			15' (4.6 m)	90' (27.4 m) x 60' (18.3 m)	2.94	32
			15' (4.6 m)	90' (27.4 m) x 60' (18.3 m)	4.95	53
			20' (6.1 m)	120' (36.6 m) x 80' (24.4 m)	2.64	28



5' to top of sign



36"x60"  
15 sq ft  
5' to top of sign



Owner (s):  
**Cardinal Glass Industries Inc**

Location:  
NE-SW, Sect. 36, T13N, R8E  
SE-SW, Sect. 36, T13N, R8E  
SW-SW, Sect. 36, T13N, R8E  
**NE-SW, Sect. 36, T13N, R8E**  
SE-SW, Sect. 36, T13N, R8E

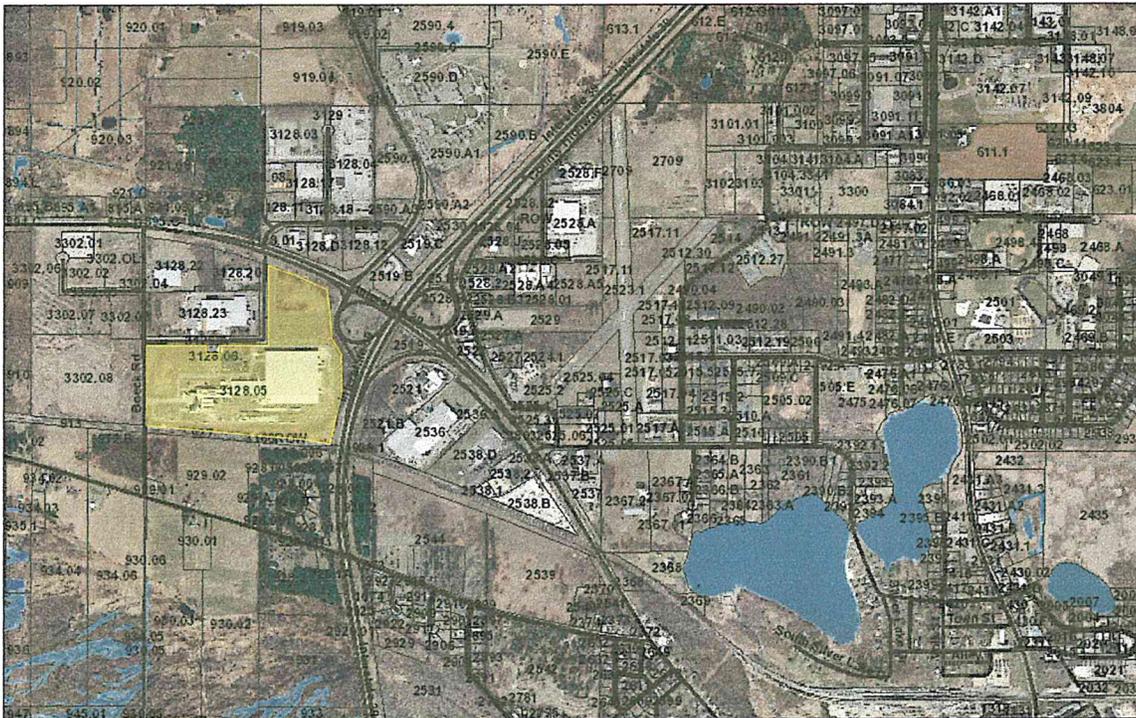
Mailing Address:  
**Cardinal Glass Industries Inc**  
**DBA Cardinal FG Company 775 Prairie Center**  
**Drive Ste 200**  
**Eden Prairie, MN 55344-0000**

School District:  
**4501 - Portage Community School**

Tax Parcel ID Number: Tax District: Status: Acres:  
**3128.05 11271-City of Portage Active 64.1060**

Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.):  
**Lots 5 & 6, 1st Addition to Portage Industrial Park; exc CS 2515-16-85**

Site Address (es): (Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)  
**1650 Mohr Rd**



Owner (s):  
**Cardinal Glass Industries Inc**

Location:  
NE-SW, Sect. 36, T13N, R8E  
SE-SW, Sect. 36, T13N, R8E  
SW-SW, Sect. 36, T13N, R8E  
**NE-SW, Sect. 36, T13N, R8E**  
SE-SW, Sect. 36, T13N, R8E

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**Cardinal Glass Industries Inc**  
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School District:  
**4501 - Portage Community School**

Tax Parcel ID Number: Tax District: Status: Acres:  
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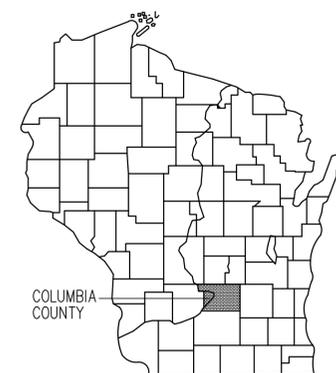
Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.):  
**Lots 5 & 6, 1st Addition to Portage Industrial Park; exc CS 2515-16-85**

Site Address (es): (Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)  
**1650 Mohr Rd**

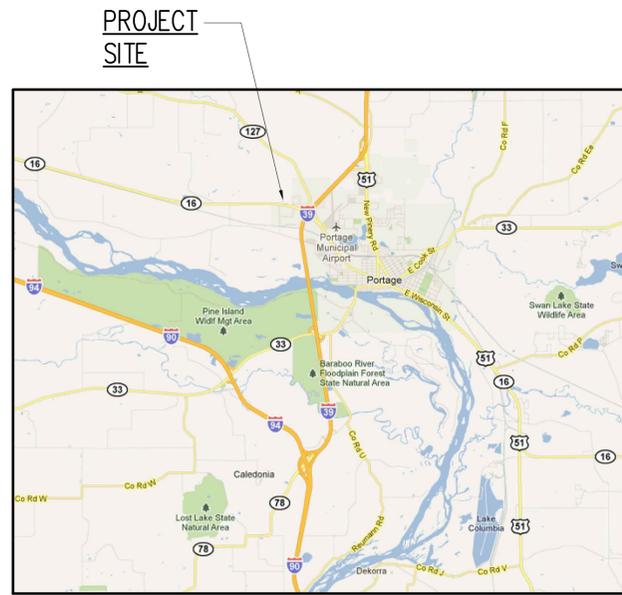


# 2015 SUBSTATION ADDITION CARDINAL FLOAT GLASS

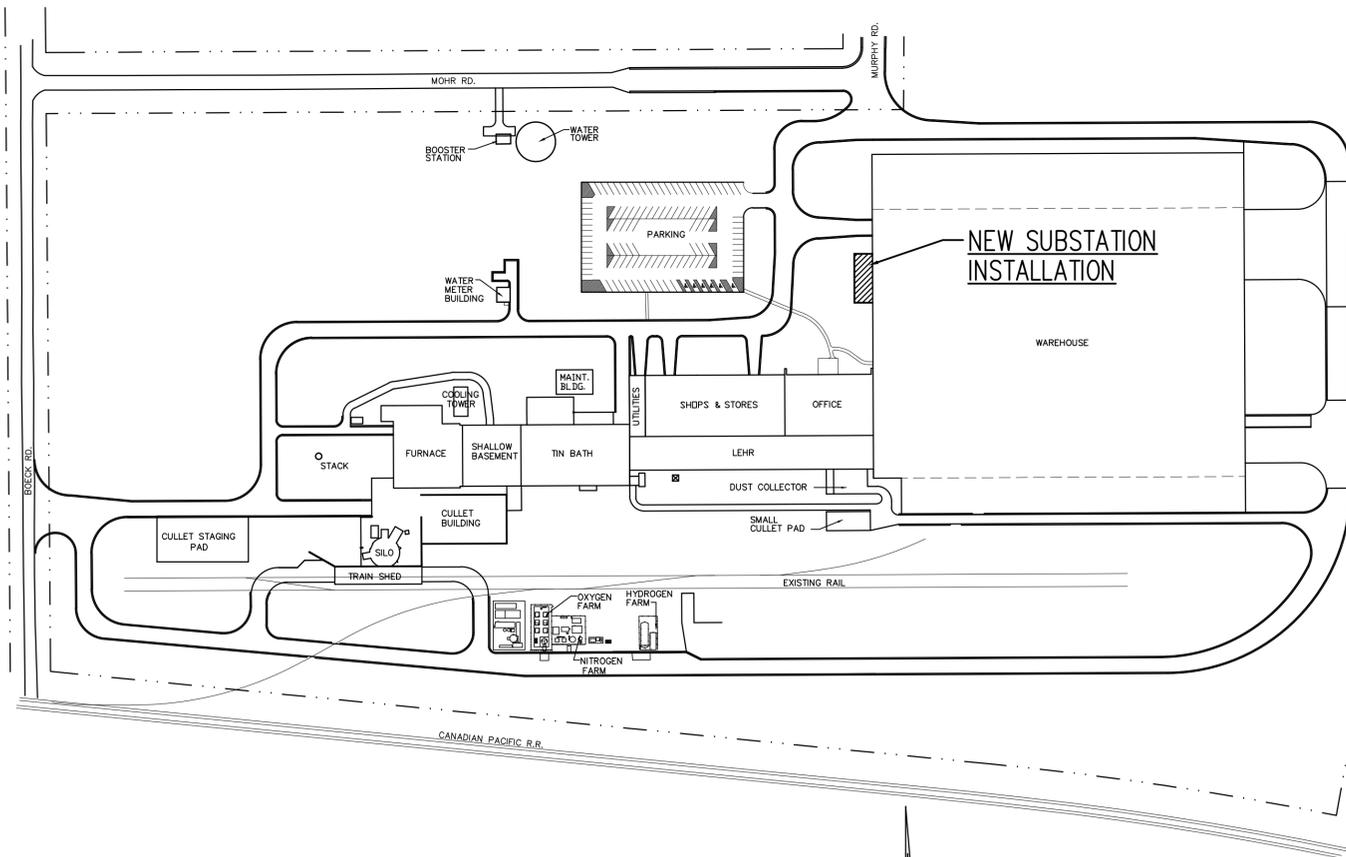
## 1650 MOHR ROAD PORTAGE, WISCONSIN



COLUMBIA COUNTY  
NTS



PROJECT LOCATION



1 OVERALL PROJECT SITE PLAN  
11.0 1" = 150'

### GENERAL NOTES

- All applicable codes as noted in the building data shall be a part of this project without further mention.
- All work shall meet the requirements of all local, state & national codes for all respective trades.
- All work shall be done by craftsmen skilled in the trade and workmanship and be of the finest quality.
- All materials supplied shall meet or exceed industry standards and shall be used and installed in compliance with their manufactured purpose and intent, and in accordance with their manufacturers specifications and recommendations.
- No products containing lead or asbestos shall be used in this project.
- Contractors for each trade shall coordinate with the Owner usage of existing utilities and waste removal of any unused materials or demolition materials.
- Drawings are not to be scaled, dimensional data shall be obtained from written information only. Verify all dimensions before proceeding. Any dimensional deviation from that shown, or discrepancy on drawings which may affect intent of design or proper incorporation of elements, shall be brought to the Owner/Engineer's attention promptly and resolution obtained before proceeding.
- Information pertaining to existing conditions is based on available records and visual inspection of existing conditions. While such data has been collected with reasonable care, there is no expressed or implied guarantee that conditions so indicated are entirely representative of those actually existing. Contractors shall notify Owner/Engineer's immediately of any discrepancies between drawings and actual conditions encountered.
- Exterior dimensions are to face of concrete/masonry or face of building sheathing, unless specifically indicated otherwise, interior dimensions are to face of concrete/masonry and to centerline of framing unless noted otherwise.
- The contractor shall take all precautionary measures to protect the public and adjacent properties from damage throughout construction.
- Any utilities to be abandoned shall be properly disconnected, plugged or capped, as required by code or local ordinance.
- Provide adequate concealed blocking and anchoring for all ceiling and wall mounted equipment, hardware and accessories.
- When a system assembly is called out for, all necessary parts and materials required for a complete installation/system shall be installed according to the manufacturers instructions.
- Disrupted existing conditions i.e. landscaping, lighting, pedestrian and vehicle access shall be minimally replaced at the end of construction to match existing and adjacent conditions prior to construction.
- Provide six (6) sets of shop drawings for all equipment to the architect/engineer for review prior to ordering. Equipment installed without approval, shall be subject to rejection and replacement at the contractor's expense.
- All details not shown on the plan shall be the responsibility of the owner and the contractor.

### BUILDING DATA

Applicable Codes: 2009 International Building Code including State of Wisconsin Amendments  
ANSI A117.1  
2006 International Mechanical Code

Occupancy Classification: CATEGORY: III (2009 IBC)  
Building Height: Allowable - 3 Stories (Table 503)  
Actual - 1 Story

Building Area: Allowable - 18,000 S.F. (Table 503)  
Unlimited per Section 507.2  
Actual Addition Total - 2296 S.F.  
Substation Addition: 28' X 82' - 2296 S.F.

Construction Type: Type IIIB - Metal Frame  
(Allowed Combustible Elements)

### UTILITIES

**ELECTRIC & GAS**  
Alliant Energy  
Portage, Wisconsin  
800-862-6222

**TELEPHONE SERVICE**  
frontier communications  
Portage, Wisconsin

**SEWER AND WATER**  
City of Portage  
Portage, Wisconsin 53901  
608-742-2176

### SHEET INDEX

T1.1	TITLE SHEET
T1.2	STRUCTURAL NOTES
C1.0	PARTIAL SITE PLAN
C1.1	PARTIAL GRADING PLAN
A1.1	SUBSTATION FLOOR PLAN
A2.1	EXTERIOR ELEVATIONS & SECTION
S1.1	FOOTING & FOUNDATION PLAN
S2.1	FOUNDATION DETAILS
S2.2	HOUSEKEEPING PAD & U.G. CONDUIT PLAN
S3.1	CMU WALL ELEVATION AND DETAILS
M1.1	HVAC PLAN, NOTES & SCHEDULES
E1.1	ELECTRICAL CONDUIT ROUTING PLAN
E1.2	ELECTRICAL CONDUIT ROUTING DETAILS
E2.1	BUILDING GROUNDING PLAN
E2.2	LIGHTING, POWER, AND FIRE ALARM PLAN
E3.1	SUBSTATION GROUNDING PLAN

ISSUED FOR CONSTRUCTION  
07-08-2015

PROJECT:	2015 SUBSTATION ADDITION CARDINAL FLOAT GLASS PORTAGE, WISCONSIN
TITLE SHEET	T1.1
PROJECT NO.	11.0
DATE:	07-08-15
ISSUED FOR CONSTRUCTION	MRD 06-24-15
ISSUED FOR STATE REVIEW	MRD 06-24-15
BUILDING MATERIAL BID	MPD 05-07-15
REVISION DESCRIPTION:	NAME: DATE:
DRAWN BY: JRL	
CHECKED BY: TJA	
DATE:	02/10/15
DWG FILE:	050-026-111
REF FILE:	050-026
JOB NUMBER:	050-026

Auth. Consulting/associates  
S&N Land Surveying

BRANCH OFFICE  
2920 Baloe Street  
Suite 101  
Hudson, WI 54016  
Tel 715-381-5877  
Fax 715-381-5888  
hudson@authconsulting.com

CORPORATE OFFICE  
406 Technology Drive East  
Suite A  
Menomonie, WI 54751  
Tel 715-232-8400  
Fax 715-232-8482  
menom@authconsulting.com

**A.C/a**

## GENERAL

- DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES:  
2009 INTERNATIONAL BUILDING CODE  
WITH WISCONSIN COMMERCIAL BUILDING CODE AMENDMENTS  
ASCE 7 MINIMUM DESIGN LOADS FOR BUILDINGS
- EMPLOY GOOD STANDARDS OF WORKMANSHIP THROUGHOUT. PROVIDE ALL MATERIALS AND PERFORM ALL CONSTRUCTION AS INDICATED. SECURE ARCHITECT'S APPROVAL FOR SUBSTITUTIONS.
- IN CASE OF CONFLICT BETWEEN APPLICABLE CODES, THESE NOTES & THE DRAWINGS, THE MORE STRINGENT WILL GOVERN.
- VERIFY ALL DIMENSIONS IN THE FIELD AND WITH THE ARCHITECT, AND UPON DISCOVERY OF ANY DISCREPANCY BETWEEN THE STRUCTURAL DRAWINGS AND FIELD CONDITIONS OR OTHER DRAWINGS, NOTIFY THE ARCHITECT.
- USE DRAWINGS IN CONJUNCTION WITH THE ARCHITECTURAL AND OTHER DISCIPLINES DRAWINGS. THEY ARE NOT TO STAND ALONE.
- DO NOT SCALE DRAWINGS.
- USE TYPICAL DETAILS AND SCHEDULES WHEREVER APPLICABLE. SPECIFIC NOTE AND DETAILS SHALL GOVERN OVER TYPICAL DETAILS, BUT ANY PART OF TYPICAL DETAILS NOT SO ALTERED WILL STILL APPLY.
- THE STRUCTURE AS SHOWN ON THESE DRAWINGS IS DESIGNED TO BE STABLE AND TO RESIST THE INDICATED LOADS IN THE COMPLETED CONDITION. THE DRAWINGS DO NOT INDICATE THE METHOD OR SEQUENCE OF CONSTRUCTION, EXCEPT AS MAY BE SPECIFICALLY NOTED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DESIGN AND SUPPLY OF ALL ERECTION BRACING AND SHORING TO RESIST VERTICAL AND LATERAL LOADS, AND SAFETY PROGRAMS, METHODS, AND PROCEDURES OF OPERATION FOR THE CONSTRUCTION OF THE DESIGN SHOWN ON THESE DRAWINGS.
- DETERMINE THAT LOADING APPLIED TO THE STRUCTURE DURING CONSTRUCTION DOES NOT EXCEED THE SAFE LOAD-CARRYING CAPACITY OF THE STRUCTURAL SYSTEM OR ITS MEMBERS. THE LOADS USED IN DESIGN OF THE MEMBERS ARE LISTED BELOW.

## DESIGN LOADS

MAXIMUM SOIL BEARING PRESSURE: 2000 PSF

ROOF LIVE LOAD: 20 PSF

SNOW LOAD (ASCE 7-05)

GROUND SNOW LOAD:  $P_g = 30$  PSF

FLAT ROOF SNOW LOAD:  $P_f = 30.50$  PSF

SNOW EXPOSURE FACTOR: SHELTERED (1.1)

SNOW LOAD IMPORTANCE FACTOR:  $I = 1.1$

THERMAL FACTOR:  $C_t = 1.2$

WIND LOAD (ASCE 7-05)

BASIC WIND SPEED (3 SEC. GUST) = 90 MPH

WIND IMPORTANCE FACTOR:  $I = 1.15$

WIND EXPOSURE: C

INTERNAL PRESSURE COEFFICIENT:  $C_{p1} = 0.18$

COMPONENTS & CLADDING:

EFFECTIVE AREA	COMPONENTS AND CLADDING: $h \leq 60'$				
	WIND PRESSURE LOADS, PSF				
	TO SF	20 SF	50 SF	100 SF	
BUILDING ZONE	1	+10, -23			
	2	+10, -32			
	3	+10, -50	N/A	N/A	N/A
	4	+20, -21			
	5	+20, -26			

POSITIVE NUMBER = DOWNWARD PRESSURE  
NEGATIVE NUMBER = UPLIFT PRESSURE  
REF: ASCE 7, OCCUPANCY CATEGORY III

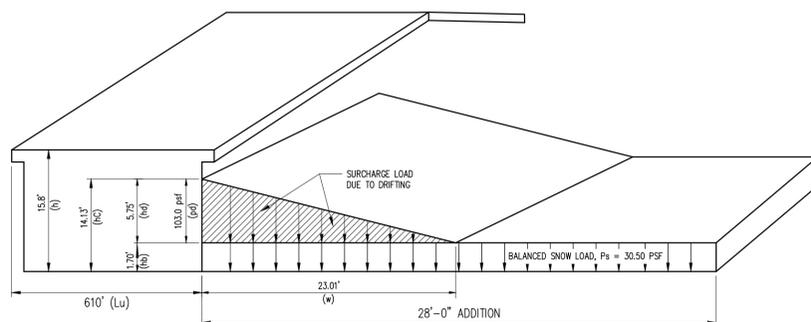
EARTHQUAKE DESIGN DATA

- LATERAL FORCE RESISTING SYSTEMS USING EQUIVALENT LATERAL FORCE PROCEDURE
- MAPPED SPECTRAL RESPONSE -  $S_s = 0.087$   $S_1 = 0.039$
- SEISMIC DESIGN CATEGORY: A
- SEISMIC IMPORTANCE: 1.25
- SEISMIC SITE CLASS: D
- DESIGN SPECTRAL RESPONSE -  $S_{ds} = 0.093$ ,  $S_{d1} = 0.062$

RAIN LOAD:  $3"/\text{HOUR} = 15.6$  PSF (FM GLOBAL)

DEAD LOAD: (PER BUILDING MANUFACTURER)

COLLATERAL LOAD: 25 PSF



SNOW DRIFT LOAD DIAGRAM

CALCULATIONS BASED ON ASCE 7  
PRE-ENGINEERED METAL BUILDING  
SUPPLIER TO VERIFY.

## FOUNDATION

- NO SOILS REPORT PROVIDED. DESIGN ASSUMES MAXIMUM ALLOWABLE BEARING PRESSURE OF 2000 PSF FOR STRIP AND SPREAD FOOTINGS.
- ASSUMED SOILS ARE ASSUMED TO BE CONSISTENT WITH SAND, SILTY SAND, AND SANDY SILT. FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED NATIVE SOILS OF THE TYPE ASSUMED. WHERE FOOTINGS BEAR ON FILL, FILL SHALL BE CLEAN, GRANULAR MATERIAL COMPACTED TO 95% OF MODIFIED PROCTOR. WHERE OBSERVED SOILS DIFFER FROM THESE ASSUMED, NOTIFY THE SUPERVISING DESIGN PROFESSIONAL PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR TO ENSURE COORDINATION BETWEEN MANUFACTURED BUILDING LAYOUT AND ASSUMED FOUNDATION BEARING LINES.
- COORDINATE ALL SLAB DEPRESSION DEPTHS AND LOCATIONS WITH ARCHITECT, MECHANICAL AND ELECTRICAL CONTRACTORS.
- VERIFY SIZES, LOCATIONS AND ELEVATIONS OF TUNNELS, ELECTRICAL CELLS, PITS, PIPES, FLOOR DRAINS, TRENCHES AND FLOOR RECESSES WITH ARCHITECT, MECHANICAL AND ELECTRICAL CONTRACTORS.
- ALL FOOTINGS SHALL BE CENTERED BELOW COLUMNS AND WALLS, UNLESS DIMENSIONED OTHERWISE.
- PIPES ARE NOT TO PASS UNDERNEATH FOOTINGS. STEP FOOTINGS AS REQUIRED FOR ALL PIPES TO PASS THROUGH FOUNDATION WALL.
- MAINTAIN MINIMUM 4'-6" SOIL COVER FOR FROST PROTECTION MEASURED TO THE BOTTOM OF THE FOOTING FOR HEATED BUILDINGS.

## REINFORCED CONCRETE

- DESIGN STRESSES:  
CONCRETE @ 28 DAYS:  $f'_c = 3500$ PSI  
CONCRETE EXPOSED TO WEATHER AND AT BUILDING PERIMETER SHOULD HAVE 6% ( $\pm 1.5\%$ ) AIR ENTRAINMENT AND SHALL MEET ASTM C260
- APPLICATION

	W/L	AGGREGATE (MAX.)
1. FOOTINGS	0.65	2"
2. SLABS ON GRADE	0.50	1"
3. WALLS	0.55	1"

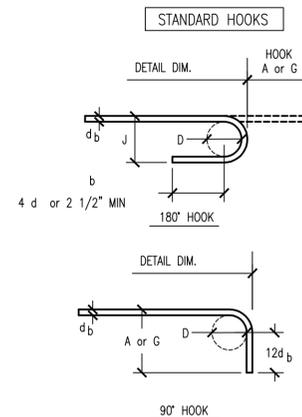
- REINFORCING STEEL:  
ASTM A-615, GRADE 60- $F_y = 60,000$  PSI.  
ASTM A-706 WHERE WELDING IS REQUIRED  
WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
- ALL REINFORCING STEEL LAP SPLICES ARE TO BE CLASS A LAP SPLICES UNLESS NOTED OTHERWISE.
- HORIZONTAL REINFORCING STEEL IN STRIP FOOTINGS AND CONCRETE WALLS SHALL BE CONTINUOUS AROUND CORNERS SAME SIZE AND SPACING.
- REINFORCING SUPPLIER TO PROVIDE ALL ACCESSORIES, CHAIRS, SPACE BARS AND SUPPORTS NECESSARY TO SECURE STEEL IN ACCORDANCE WITH ACI CODE OF STANDARD PRACTICE.
- FURNISH AND PLACE ALL SLEEVES AND OPENINGS AS SHOWN ON THE DRAWINGS OR AS SPECIFIED AND VERIFY SIZE, LOCATION AND NUMBER OF ALL OTHER OPENINGS REQUIRED WITH ALL OTHER CONTRACTORS AND SUBCONTRACTORS.
- ALL HOOKED BARS SHALL BE A STANDARD HOOK UNLESS NOTED OTHERWISE.
- ALL CONCRETE WORK SHALL CONFORM TO ACI 301 UNLESS NOTED OTHERWISE.
- TEST CYLINDERS SHALL BE TAKEN ONCE A DAY OR EVERY 150 C.Y. OF CONCRETE PLACED.
- OBSERVE REQUIREMENTS FOR HOT AND COLD WEATHER WORK.
- HOLD ALL BOLTS, ANCHORS, DOWELS, REINFORCING BARS AND METAL INSERTS FIRMLY AND ACCURATELY IN PLACE BEFORE CONCRETE IS POURED.  
DO NOT INSERT ("STAB") AFTER POURING CONCRETE.
- ALL CONSTRUCTION JOINTS SHALL BE CLEAN AND FREE OF FOREIGN SUBSTANCES, LOOSE ARTICLES OR LAITANCE. WHERE NOTED ON DRAWINGS AS "ROUGHENED", MECHANICALLY ROUGHEN (SO AS TO FRACTURE COARSE AGGREGATE) ENTIRE SURFACE TO AT LEAST 1/4" AMPLITUDE AND REMOVE ALL LOOSE MATERIAL.  
DAMPEN JOINT FOR AT LEAST ONE HALF HOUR PRIOR TO SECOND POUR BUT LEAVE NO STANDING WATER.

## STRUCTURAL STEEL

- FABRICATE, ERECT, DESIGN AND DETAIL ALL STRUCTURAL STEEL IN ACCORDANCE WITH AISC STANDARD PRACTICE, EXCEPT AS NOTED.
- MATERIALS (EXCEPT AS NOTED IN DRAWINGS):  
ALL MATERIALS SHALL BE NEW STOCK, UNLESS NOTED OTHERWISE:  
WIDE FLANGE SHAPES: ASTM A992  
OTHER SHAPES: ASTM A36  
PLATES AND BARS: ASTM A36 (A529, A572, A588 OPTIONAL)  
STRUCTURAL TUBING: ASTM A500, GRADE B (ROUGH, SQUARE, RECTANGULAR)  
BOLTS, REGULAR: ASTM A307  
BOLTS, HIGH-STRENGTH: ASTM A325 TYPE 1 OR ASTM A490 TYPE 1  
HARDENED WASHERS: ASTM F436  
THREADED ANCHOR RODS: ASTM A1554, WITH SUPPLEMENT S1  
THREADED RODS: ASTM A36  
WELD ELECTRODE: AWS D11.1-98, TABLE 3.1, E70xx LOW HYDROGEN  
SHAPES AND WELDMENTS = ASTM A123  
GALVANIZING: BOLTS AND HARDWARE = ASTM A153
- MINIMUM WELDS:  
WELDS NOT SPECIFIED SHALL BE 3/16" CONTINUOUS FILLET WELDS, OR MINIMUM SIZE PER AISC, WHICHEVER IS GREATER.  
ALL WELDED CONNECTIONS EXPOSED TO THE EXTERIOR ENVIRONMENT SHALL HAVE CONTINUOUS FILLET FILLER WELD (MINIMUM 1/8") ALL AROUND, EXCEPT FOR MEMBERS TO BE HOT-DIPPED GALVANIZED.  
ALL WELD SIZES ARE EFFECTIVE SIZES; INCREASE AS REQUIRED IF GAPS EXIST AT MEETING SURFACES.  
GROOVE WELDS NOT OTHERWISE NOTED SHALL BE COMPLETE PENETRATION.
- WELDING SHALL BE WABO CERTIFIED WELDERS AND SHALL BE AS DETAILED OR AS SPECIFIED BY AMERICAN WELDING SOCIETY STANDARDS D1.1-90.
- GRIND SMOOTH ALL VISIBLE WELDS WHERE NOTED IN STRUCTURAL AND ARCHITECTURAL DRAWINGS.
- FIELD WELDING IS NOT PERMITTED, EXCEPT AS SPECIFICALLY DETAILED.
- BOLT HOLES SHALL NOT BE MORE THAN 1/16TH" OVER-SIZED, AND SHALL BE DRILLED OR PUNCHED; IF PUNCHED, WITHOUT DISTORTION OF THE PIECE. DO NOT BURN HOLES AT ANY PLACE.
- ALL STEEL SHALL HAVE ON COAT OF APPROVED RUST-PREVENTIVE SHOP PAINT, EXCEPT FOR SURFACES TO BE EMBEDDED IN CONCRETE OR MASONRY.
- GROUT UNDER BASE PLATES SHALL BE NON-SHRINKING, NON-STAINING, NON-METALLIC GROUT MINIMUM 6000 PSI. ALLOW FOR 3/4" GROUT WHERE NOT SHOWN OTHERWISE. CLEAN ALL CONTACT SURFACES AND PLACE GROUT COMPLETELY UNDER PLATE, WITHOUT VOIDS.
- REENTRANT CORNERS TO HAVE 1/2" RADIUS, MINIMUM, AND BE FREE OF NOTCHES. TO BE EMBEDDED IN CONCRETE OR MASONRY.

REINF. BAR SIZE	FINISHED BEND DIAMETER D, IN.	180°-HOOKS		90°-HOOKS
		A or G	J	A or G
#3	2 1/4"	5"	3"	6"
#4	3"	6"	4"	8"
#5	3 3/4"	7"	5"	10"
#6	4 1/2"	8"	6"	1'-0"

$d_b$  = nominal diameter of bar, in.



## MAXIMUM CONTROL JOINT SPACING

SLAB THICKNESS	REINFORCING	MAX. SPACING
4"	W.W.M.	15'-0"
6"	W.W.M.	15'-0"
8"	W.W.M.	15'-0"

## SHEATHING AND STRUCTURAL PANELS

- MATERIALS (EXCEPT AS NOTED IN DRAWINGS):  
ALL STRUCTURAL PANEL SHEATHING WILL BE APA RATED SHEATHING EXP. 1  
ROOF SHEATHING: T&G EDGES OR PLYCLIPS @ 8" O.C. EXCEPT WHERE BLOCKED;  
SUPPORTS @ 48" 23/32" MIN. SPAN RATING 48/24, BLOCKED  
SUPPORTS @ 32" 19/32" MIN. SPAN RATING 40/20, UNBLOCKED  
SUPPORTS @ 24" OR LESS: 15/32" MIN. SPAN RATING 32/16, UNBLOCKED  
FLOOR SHEATHING: T&G EDGED, GLUE PER APA SPECIFICATIONS, NAIL PER TABLE.  
SUPPORTS @ 24" OF LESS: 23/32" MIN. SPAN RATING 48/24, (ALT. APA STURDIFLOOR, 24" SPAN)  
WALL SHEATHING: 15/32" MIN. SPAN 24/0  
PANEL ADHESIVE: PER APA AFG-01  
NAIL SHEATHING PER THE FOLLOW MINIMUMS, EXCEPT AS SHOWN AT SHEAR WALLS OR DIAPHRAGMS:  
AT PANEL EDGES AT INTERMEDIATE SUPPORT  
WALL SHEATHING: 8d @ 6" O.C. 8d @ 12" O.C.  
ROOF SHEATHING: 8d @ 6" O.C. 8d @ 12" O.C.  
FLOOR SHEATHING: 10d @ 6" O.C. 10d @ 10" O.C.  
NAIL ROOF SHEATHING AT EAVES WITHOUT SOFFITS 6" AT ALL SUPPORTS.
- PLACE ALL ROOF AND FLOOR SHEATHING WITH FACE GRAIN IN DIRECTION OF SPAN.
- PLACE CANTS OR CRICKETS OVER BASIC ROOF SHEATHING.
- SHEATHING NAILS INTO MANUFACTURED TRUSS CHORDS SHALL NOT BE CLOSER THAN 6" IN ANY ROW OF NAILS; SEPARATE ROWS BY 1/2"
- WHERE ROOF SHEATHING PANELS ARE LESS THAN 24" WIDE, BUT GREATER THAN 12", EDGES MUST BE BLOCKED. ADJUST PANEL CUTTING TO AVOID PIECES LESS THAN 12".

## STRUCTURAL MASONRY

- MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATION FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 402-99) AS AMENDED BY THE 2002 WISCONSIN ADOPTED INTERNATIONAL BUILDING CODE.
- THE STRUCTURAL MASONRY DESIGN IS BASED ON "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530-99/ASCE 5-99/TMS 402-99) AS AMENDED BY THE 2002 WISCONSIN ADOPTED INTERNATIONAL BUILDING CODE.
- THE STRUCTURAL MASONRY DESIGN IS BASED ON THE SPECIFIED COMPRESSIVE STRENGTH OF MASONRY ( $f_m$ ) OF 1500 PSI AT 28 DAYS. THE COMPRESSIVE STRENGTH OF MASONRY SHALL BE DETERMINED BY THE UNIT STRENGTH METHOD IN ACCORDANCE WITH ACI 530.1/ASCE 6/TMS 602.
- HOLLOW CONCRETE MASONRY UNITS SHALL MEET ASTM C90 AND BE GRADE N, TYPE II, NORMAL WEIGHT UNITS, NET AREA COMPRESSIVE STRENGTH OF MASONRY UNITS = 2150 PSI.
- ALL MORTAR SHALL BE PORTLAND CEMENT/LIME MORTAR CONFORMING TO ASTM C270: BELOW GRADE SHALL BE TYPE "M", EXTERIOR WALLS SHALL BE TYPE "S" AND INTERIOR WALLS SHALL BE TYPE "N".
- REINFORCING STEEL SHALL BE ASTM A615, GRADE 60- $F_y = 60,000$  PSI.
- PROVIDE 9 GAGE LADDER-TYPE HORIZONTAL MASONRY JOINT REINFORCEMENT AT EVERY OTHER BLOCK COURSE, OR AS SHOWN ON THE DRAWINGS, IN ALL MASONRY WALLS.
- ALL MASONRY BELOW GRADE SHALL BE GROUTED SOLID.
- CONCRETE GROUT FOR CORE-FILL AT VERTICAL REINFORCING, BOND BEAMS AND BELOW GRADE MASONRY SHALL HAVE A MAXIMUM AGGREGATE SIZE OF 3/8" AND A COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS.
- ALL MASONRY REINFORCING SHALL BE LAPPED 48 BAR DIAMETERS.
- VERTICAL REINFORCING SHALL BE PLACED AND GROUTED IN VERTICAL LIFTS OF 4'-0".
- ALL GROUT SHALL BE CONSOLIDATED AT THE TIME OF POURING BY VIBRATING OR OTHER ACCEPTABLE METHODS.
- VERTICAL REINFORCEMENT SHALL BE IN ALIGNMENT, AS REQUIRED, AT TOP AND BOTTOM OF CORES.
- WHEN THE GROUTING IS STOPPED FOR ONE HOUR OR LONGER, HORIZONTAL CONSTRUCTION JOINTS SHALL BE FORMED BY STOPPING THE GROUT POUR 1 1/2" BELOW THE TOP OF THE UPPERMOST UNIT.
- REINFORCE ALL BOND BEAMS WITH (2) #5 BOTTOM BARS, UNLESS NOTED OTHERWISE.
- REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF VERTICAL CONTROL JOINTS.

## SUBMITTALS

- CALCULATIONS SIGNED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WISCONSIN SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR ALL PRE-ENGINEERED PRODUCTS PRIOR TO FABRICATION.
- SHOP DRAWINGS INCLUDING CONNECTIONS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO FABRICATION.
- THE FOLLOWING SHALL BE SUBMITTED TO THE ENGINEER OF RECORD:  
CONCRETE TEST RESULTS  
CERTIFICATE OF MASONRY UNIT STRENGTHS  
CONCRETE MIX DESIGNS

PROJECT: 2015 SUBSTATION ADDITION  
CARDINAL FLOAT GLASS  
PORTAGE, WISCONSIN

BRANCH OFFICE: 2920 Baboe Street, Suite 101, Hudson, WI 54016  
CORPORATE OFFICE: 406 Technology Drive East, Suite A, Menomonie, WI 54751

DATE: 04/20/15  
DWG FILE: 050-026-T12  
REF FILE: 050-026  
JOB NUMBER: 050-026

ISSUED FOR CONSTRUCTION  
ISSUED FOR STATE REVIEW  
BUILDING MATERIAL BID  
REVISION DESCRIPTION:

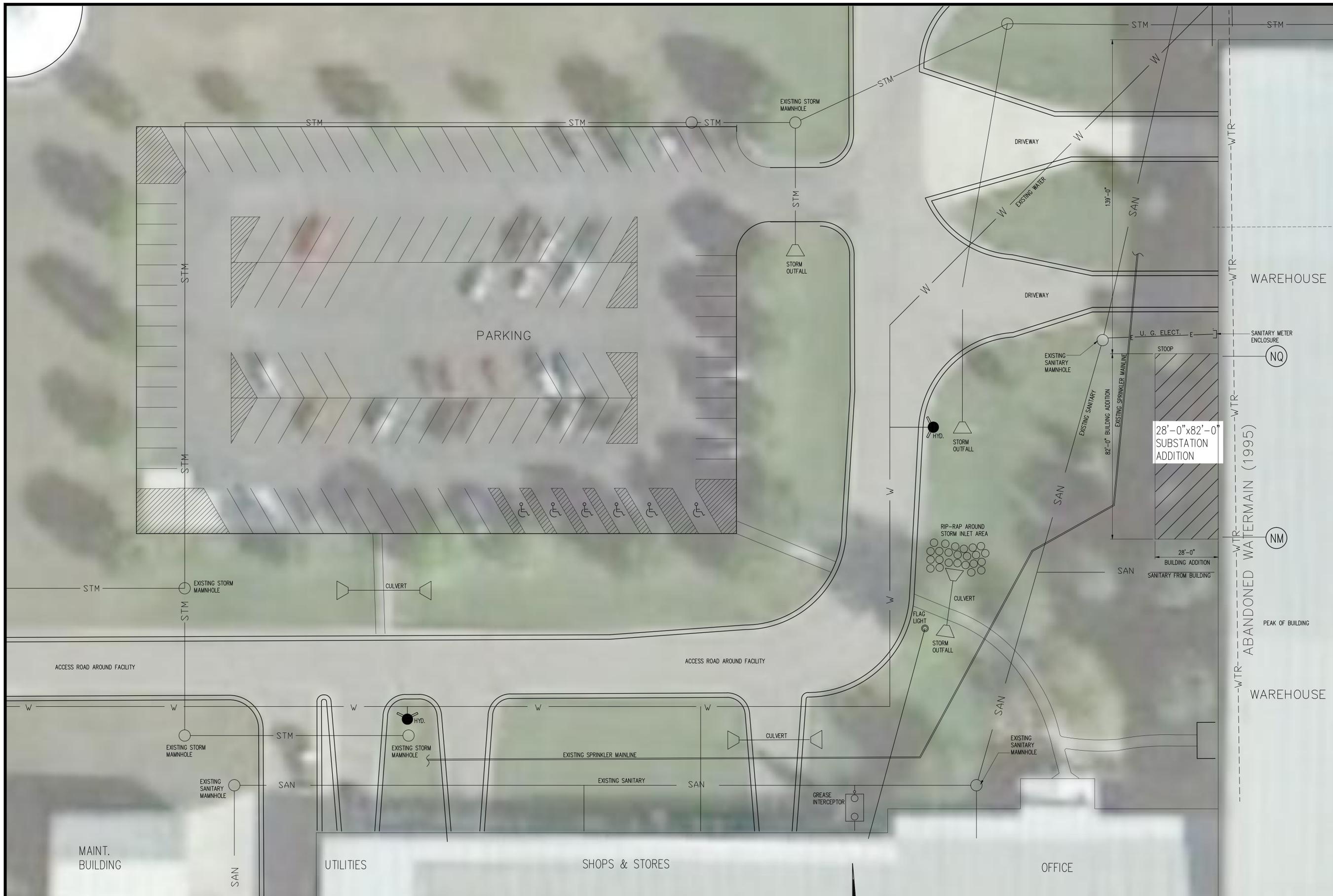
DATE: 07-08-15  
DATE: 06-24-15  
DATE: 05-07-15

Auth. Consulting/associates  
S&N Land Surveying

STRUCTURAL NOTES

ISSUED FOR CONSTRUCTION  
07-08-2015

SHEET NO. T1.2



**PARTIAL SITE PLAN – SUBSTATION ADDITION**  
 SCALE: 1" = 20'-0"



ISSUED FOR CONSTRUCTION  
 07-08-2015

PROJECT: <b>2015 NEW SUBSTATION ADDITION CARDINAL FLOAT GLASS PORTAGE, WISCONSIN</b>	SHEET NO. <b>C1.0</b>	PARTIAL SITE PLAN	 <b>Auth-Consulting/associates</b> 	BRANCH OFFICE 2920 Polke Street Suite 101 Hudson, WI 54016 Tel: 715-981-5277 Fax: 715-981-5338 hudson@authconsulting.com	CORP/OWNER OFFICE 108 Technology Drive East Suite A Menomonie, WI 54751 Tel: 715-292-8460 Fax: 715-292-8462 men@authconsulting.com
				DRAWN BY: JRL CHECKED BY: MRD DATE: 06/25/14 DWG FILE: 050-022-C10 REF FILE: DRAWINGS JOB NUMBER: 050-022	ISSUED FOR CONSTRUCTION MRD 07-08-15 ISSUED FOR STATE REVIEW MRD 06-24-15 REVISION DESCRIPTION: NAME: DATE:

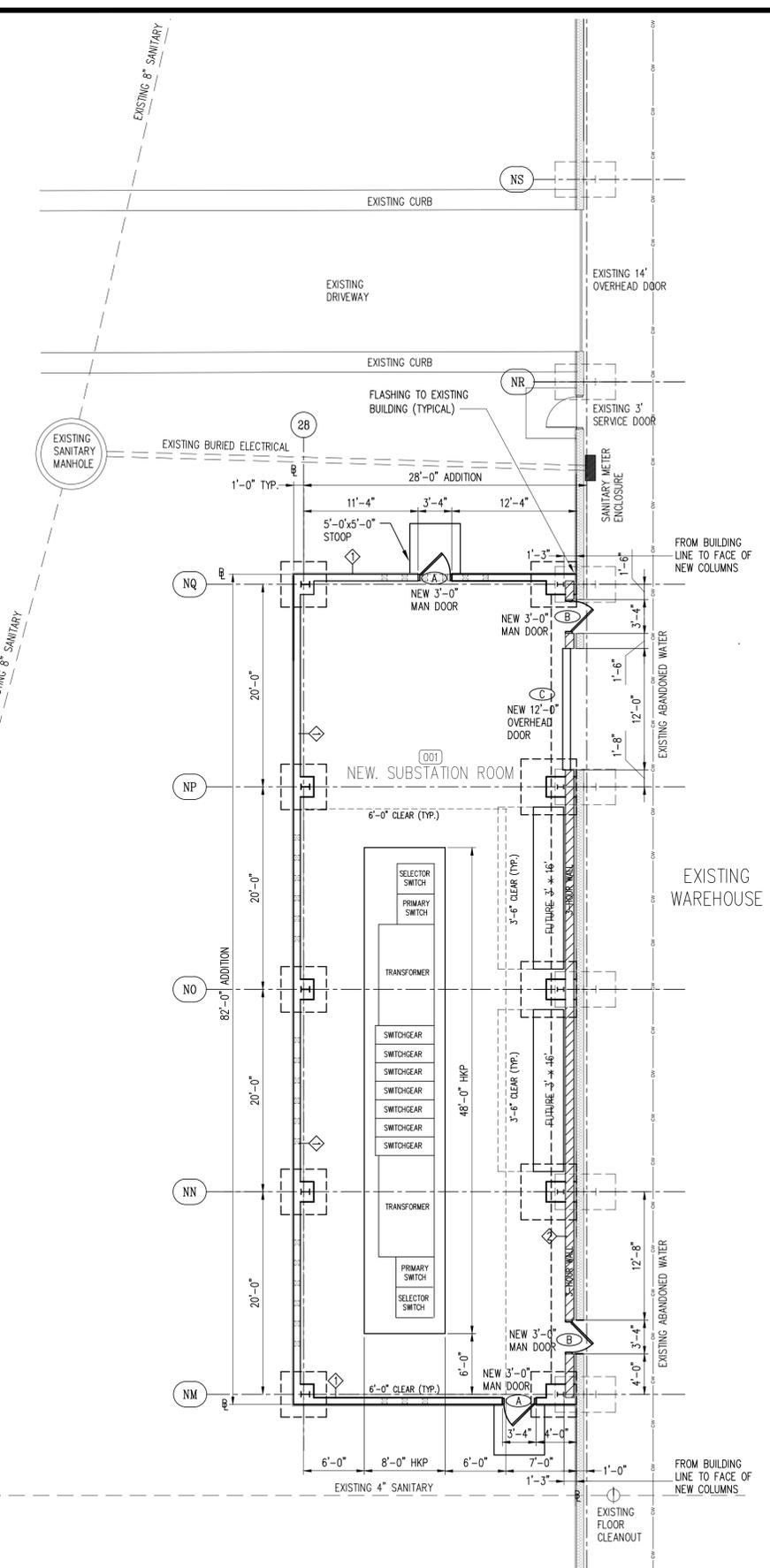


**PARTIAL GRADING PLAN – SUBSTATION ADDITION**  
 SCALE: 1" = 20'-0"

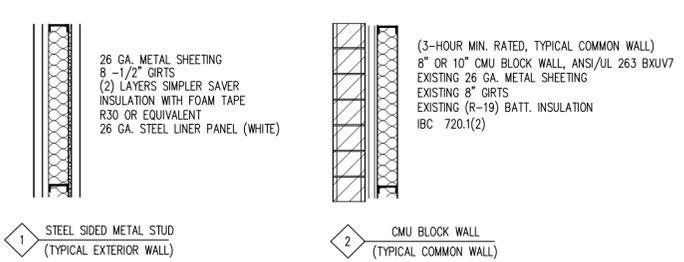


ISSUED FOR  
 CONSTRUCTION  
 07-08-2015

PROJECT: <b>2015 NEW SUBSTATION ADDITION CARDINAL FLOAT GLASS PORTAGE, WISCONSIN</b>	SHEET NO. <b>C1.1</b>	PARTIAL GRADING PLAN	 <b>Anti-Consulting / associates</b>	 <b>S&amp;N Land Surveying</b>	BRANCH OFFICE 2920 Polaris Street Suite 101 Hudson, WI 54016 Tel: 715-381-5277 Fax: 715-381-5358 hudson@authconsulting.com	DATE: 07/04/15	ISSUED FOR CONSTRUCTION	MRD 07-08-15
					CORPORATE OFFICE 108 Technology Drive East Suite A Menomonie, WI 54751 Tel: 715-292-8400 Fax: 715-292-8402 men@authconsulting.com	DWG FILE: 050-026-C11	REVISION DESCRIPTION:	DATE:
				DRAWN BY: JRL	ISSUED FOR CONSTRUCTION	MRD 07-08-15		
				CHECKED BY: MRD	REVISION DESCRIPTION:	NAME:		
				DATE: 07/04/15	JOB NUMBER: 050-026	DATE:		
				DWG FILE: 050-026-C11	JOB NUMBER: 050-026	DATE:		
				REF FILE: 050-026	JOB NUMBER: 050-026	DATE:		



1 FLOOR PLAN  
A1.1 SCALE: 1/8" = 1'-0"



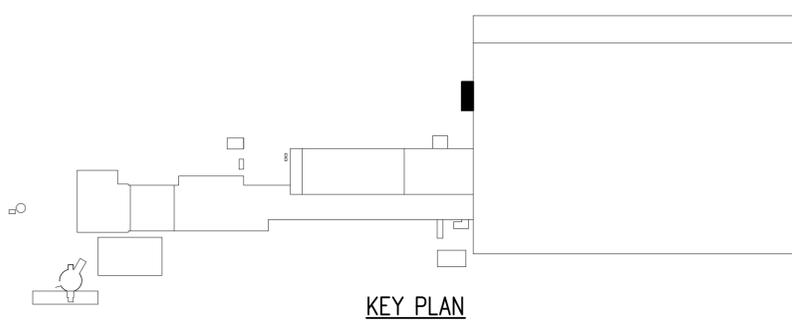
2 WALL TYPES  
A1.1 NOT TO SCALE

- NOTES**
- METAL BUILDING SUPPLIER TO SUPPLY ALL NECESSARY TRIMS AND / OR FLASHINGS TO PROVIDE A COMPLETE WEATHER TIGHT BUILDING ENCLOSURE CONSISTENT WITH CURRENT CODE REQUIREMENTS AND INDUSTRY STANDARDS.
  - SIDING COLOR: COOL GRANITE GREY
  - SIDING FINISH: KYNAR
  - TRIM & GUTTER COLOR: COOL BRIGHT RED (SPECIAL ORDER)
  - METAL BUILDING INSULATION (BY METAL BUILDING SUPPLIER) SHALL HAVE P.S.K. STANDARD DUTY BACKING - INSTALLED BY METAL BUILDING ERECTOR.

**DOOR SCHEDULE**

NO.	SIZE			MATERIAL	FRAME	GLAZING	LOCK TYPE	NOTES
	W	H	T					
A	3'-0"	7'-0"	1 3/4"	MTL. INSUL.	MTL. INSUL.		EXIT LOCK WITH PANIC HARDWARE	BLANK EXTERIOR HARDWARE INSTALLED BY METAL BUILDING ERECTOR
B	3'-0"	7'-0"	1 3/4"	MTL. INSUL.	MTL. INSUL.		ENTRANCE LOCK	3-HOUR FIRE RATED DOOR & FRAME
C	12'-0"	12'-0"	1 3/4"	MTL. INSUL.	MTL. INSUL.		ENTRANCE LOCK	3-HOUR FIRE RATED DOOR & FRAME

NOTE: 1. ALL DOORS EITHER FULLY WELDED METAL OR KNOCK-DOWN FRAME DOOR.  
2. ALL INTERIOR DOORS INSTALLED BY BUILD-OUT CONTRACTOR.  
3. ALL GLAZING TO HAVE EITHER CARDINAL'S LOGO OR NO LOGO.



KEY PLAN

ISSUED FOR CONSTRUCTION  
07-08-2015

PROJECT: 2015 NEW SUBSTATION ADDITION  
CARDINAL FLOAT GLASS  
PORTAGE, WISCONSIN

ISSUED FOR CONSTRUCTION MRD 07-08-15  
ISSUED FOR STATE REVIEW MRD 06-24-15  
BUILDING MATERIAL BID MFD 05-07-15  
REVISION DESCRIPTION: NAME: DATE:

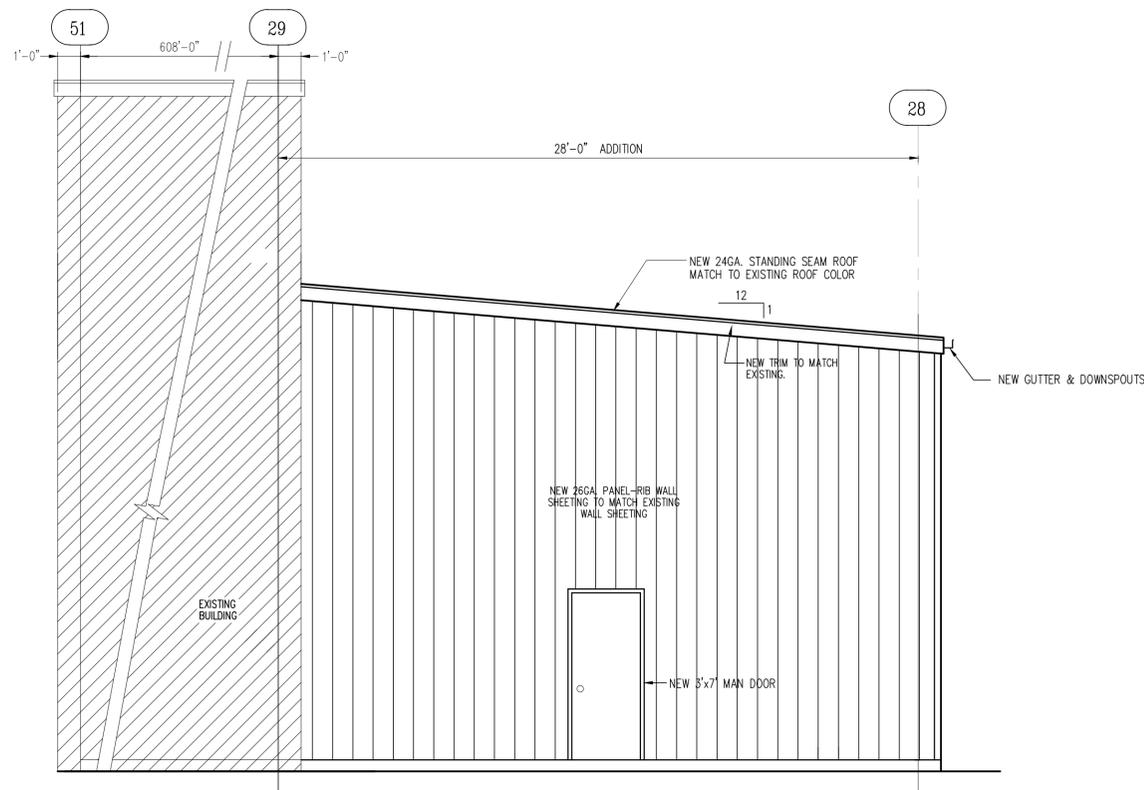
BRANCH OFFICE: 2320 Baloe Street, Suite 101, Hudson, WI 54016, Tel: 715-381-5277  
CORPORATE OFFICE: 408 Technology Drive E, Suite A, Menomonie, WI 54751, Tel: 715-232-8490, Fax: 715-232-8482

A.C/a  
Auth. Consulting/associates

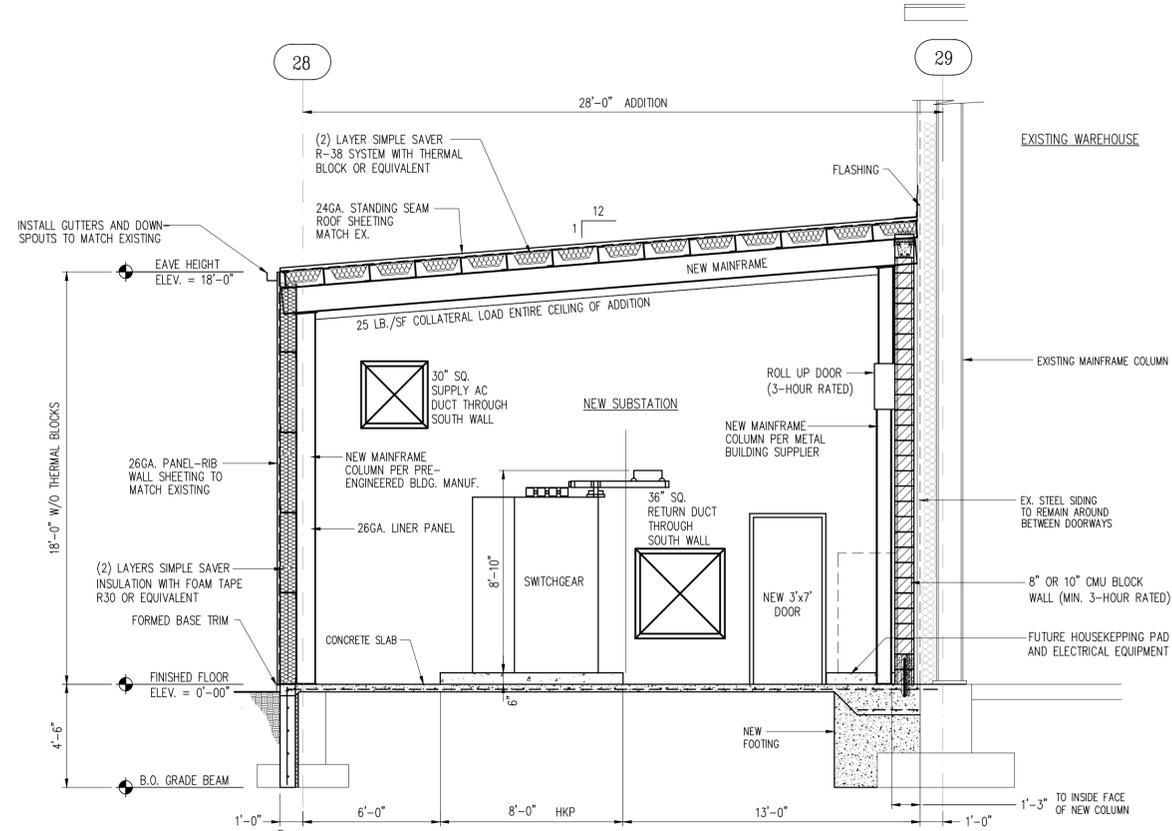
S&N Land Surveying

SUBSTATION FLOOR PLAN

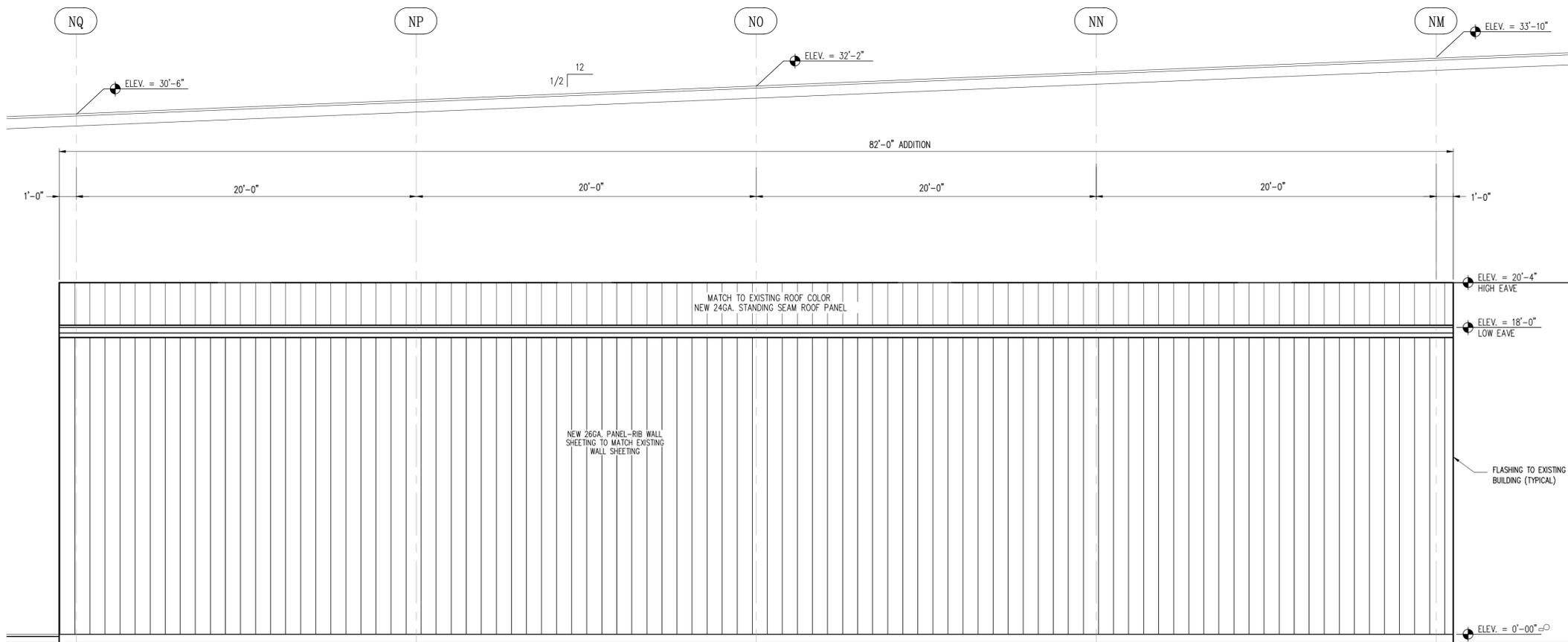
A1.1



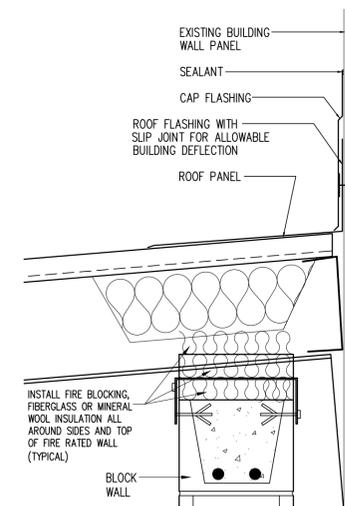
2 NORTH BUILDING ADDITION ELEVATION  
SA2.1 SCALE: 1/4" = 1'-0"



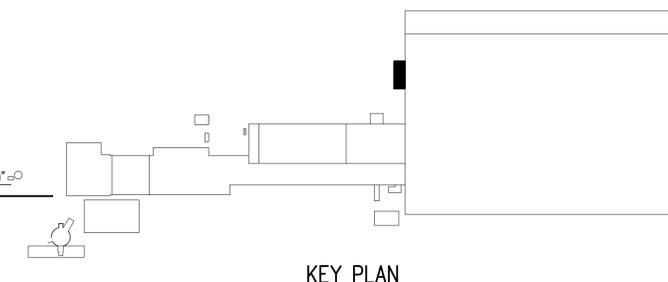
3 SECTION THRU ADDITION  
SA2.1 SCALE: 1/4" = 1'-0"



1 WEST BUILDING ADDITION ELEVATION  
SA2.1 SCALE: 1/4" = 1'-0"



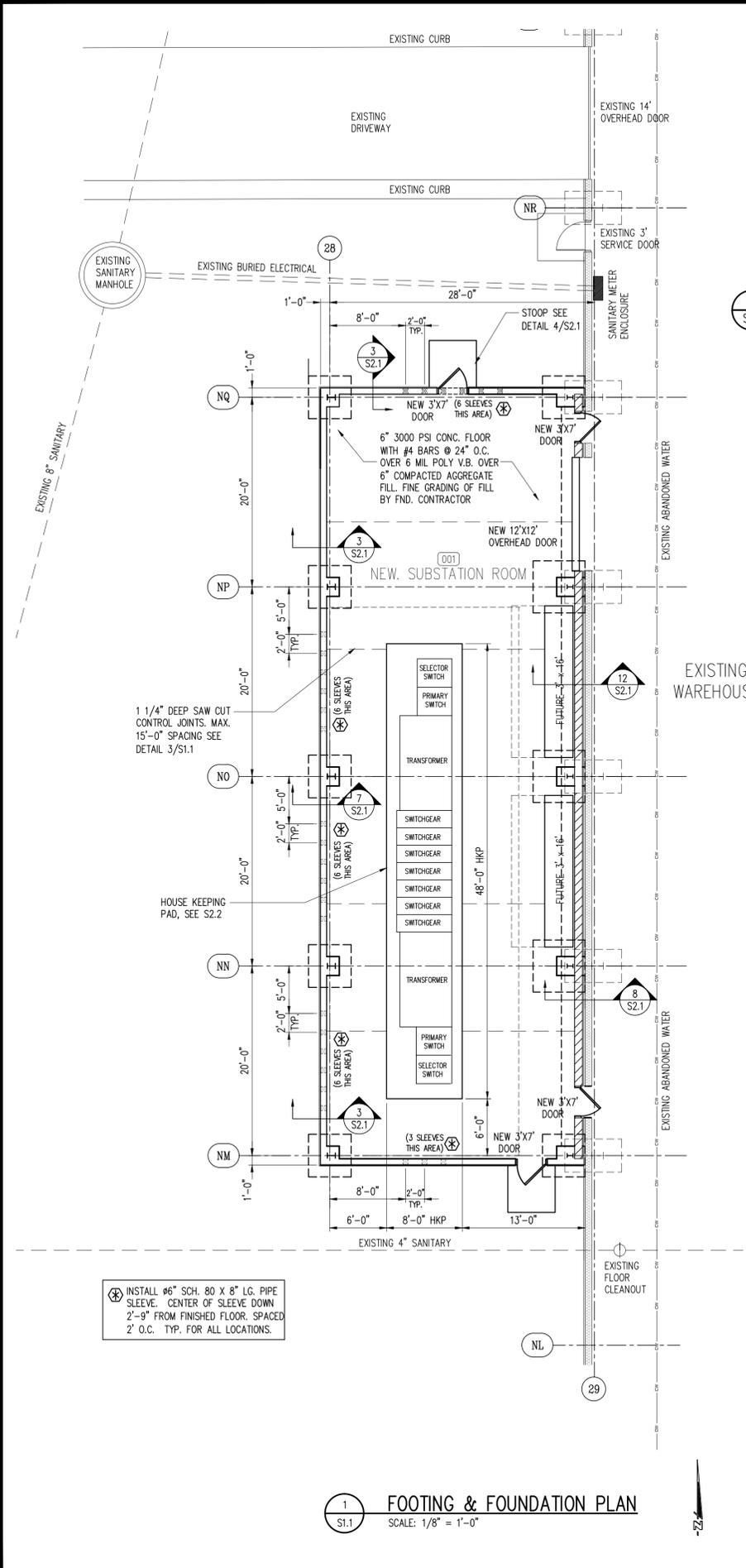
4 WALL TO ROOF FLASHING DETAIL  
SA2.1 N.T.S.



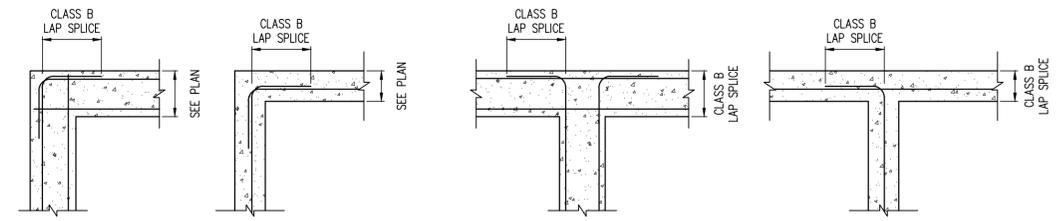
KEY PLAN

ISSUED FOR CONSTRUCTION  
07-08-2015

PROJECT:	2015 NEW SUBSTATION ADDITION CARDINAL FLOAT GLASS PORTAGE, WISCONSIN
SHEET NO.:	A2.1
EXTERIOR ELEVATIONS & SECTION	
	AUTH. CONSULTING/ASSOCIATES S&N Land Surveying BRANCH OFFICE 2920 Baloe Street Suite 101 Hudson, WI 54016 Tel 715-381-5277 Fax 715-381-5338 CORPORATE OFFICE 408 Technology Drive E. Suite A Menomonie, WI 54751 Tel 715-282-8480 Fax 715-282-8482
DRAWN BY: JRL CHECKED BY: MFD DATE: 02/10/15 DWG FILE: 050-026-A21 REF FILE: 050-026 JOB NUMBER: 050-026	ISSUED FOR CONSTRUCTION MRD 07-08-15 ISSUED FOR STATE REVIEW MFD 06-24-15 BUILDING MATERIAL BID MFD 05-07-15 PRELIMINARY FOR REVIEW MFD 04-22-15 REVISION DESCRIPTION: NAME: DATE:

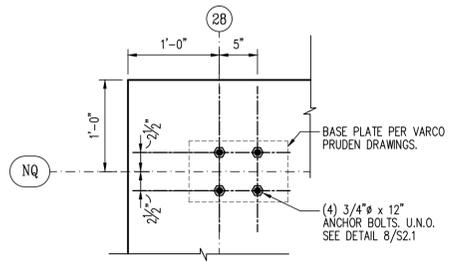


**1** FOOTING & FOUNDATION PLAN  
SCALE: 1/8" = 1'-0"

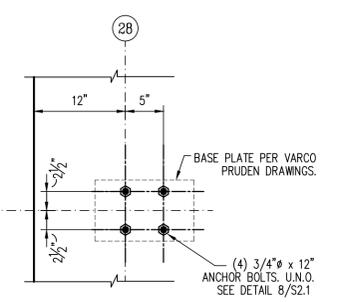


**2** TYPICAL CONCRETE WALL CORNER  
N.T.S.

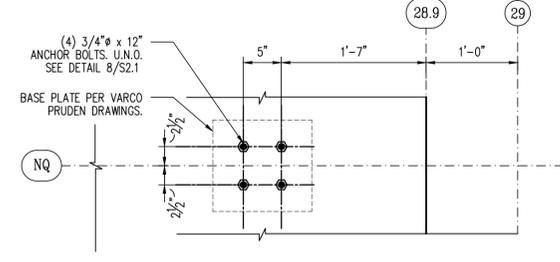
**3** TYPICAL CONCRETE WALL INTERSECTION  
N.T.S.



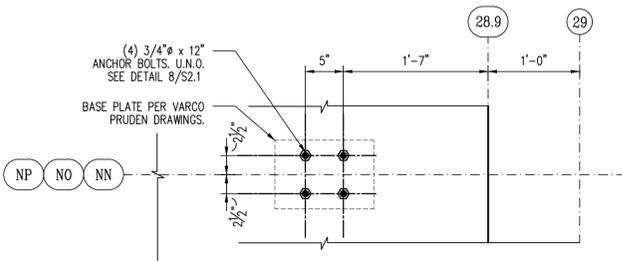
**4** A.B. PLACEMENT @ COL. LINES NQ-28/NM-28 (SIM)  
N.T.S.



**5** A.B. PLACEMENT @ COL. LINES NP-28/NO-28/NN-28  
N.T.S.



**6** A.B. PLACEMENT K @ COL. LINES NQ-29/NM-29 (SIM)  
N.T.S. NOTE: A.B. PLACEMENT @ FTG. J COL. LINE 3.5 SIM.



**7** A.B. PLACEMENT @ COL. LINES NP-29/NO-29/NN-29  
N.T.S.

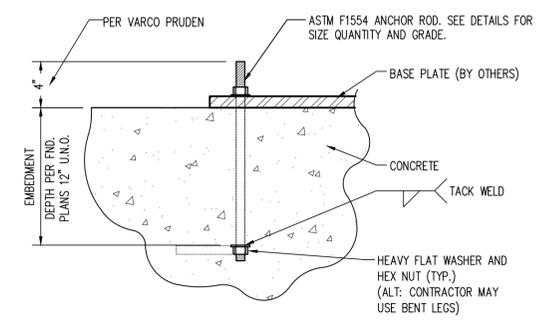
**LEGEND**

- (X) COLUMN LINE
- (X) FOOTING TYPE/DETAIL
- (A) REVISION MARKER

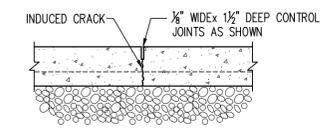
**FOUNDATION NOTES**

NOTES:

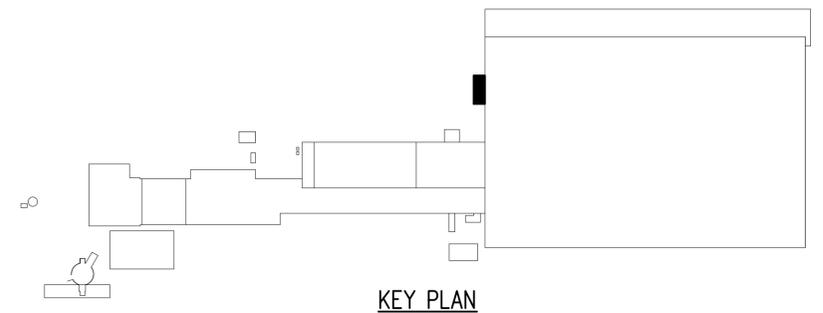
- ANCHOR BOLTS TO BE FURNISHED & INSTALLED BY FOUNDATION CONTRACTOR. COORDINATE SIZE AND LOCATION WITH PRE-ENGINEERED BUILDING MANUFACTURER.
- INTERIOR FLOOR TO BE POURED AFTER ERECTION OF METAL BUILDING.
- ALL EXTERIOR CONCRETE SHALL BE BY THE FOUNDATION CONTRACTOR.
- PROVIDE CONTROL JOINTS AS INDICATED
- LOCATE ALL PAD FOOTINGS CENTERED ON COLUMNS & CONC. PIER EACH WAY. TYPICAL UNLESS NOTED OTHERWISE.



**8** TYP. ANCHOR BOLT DETAIL  
N.T.S.



**9** SAWCUT CONTROL JOINT DET.  
SCALE: 1/2" = 1'-0"



KEY PLAN

PROJECT:	2015 NEW SUBSTATION ADDITION CARDINAL FLOAT GLASS PORTAGE, WISCONSIN	ISSUED FOR CONSTRUCTION	MRD 07-08-15	NAME:	
DRAWN BY:	JRL	ISSUED FOR STATE REVIEW	MRD 06-24-15	REVISION DESCRIPTION:	
CHECKED BY:	MFD				
DATE:	02/19/15				
DWG FILE:	050-026S11				
REF FILE:	050-026				
JOB NUMBER:	050-026				

BRANCH OFFICE  
2320 Baloe Street  
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408 Technology Drive E.  
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Tel 715-232-8490  
Fax 715-232-8482

**A.C/a**

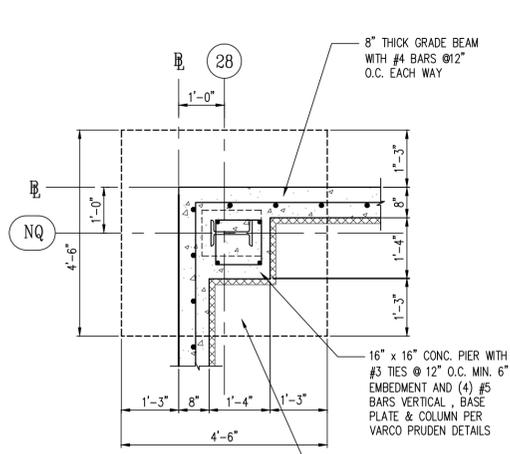
Auth-Consulting/associates

S&N Land Surveying

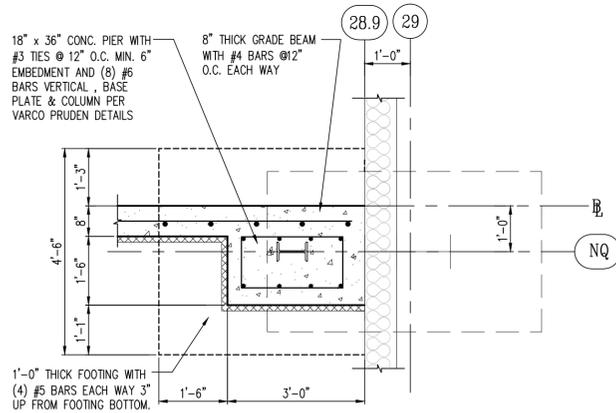
FOOTING & FOUNDATION PLAN

SHEET NO. **S1.1**

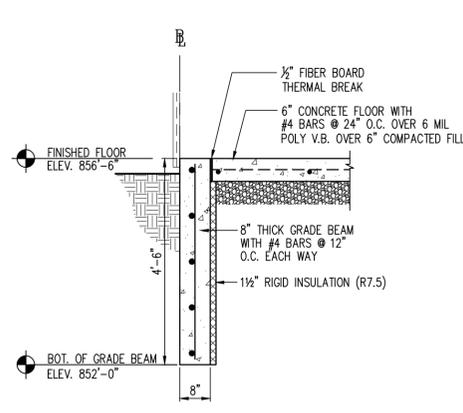
ISSUED FOR  
CONSTRUCTION  
07-08-2015



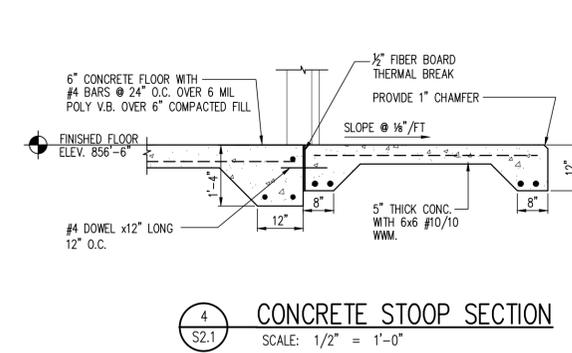
1 COLUMN FOOTING  
S2.1 SCALE: 1/2" = 1'-0"



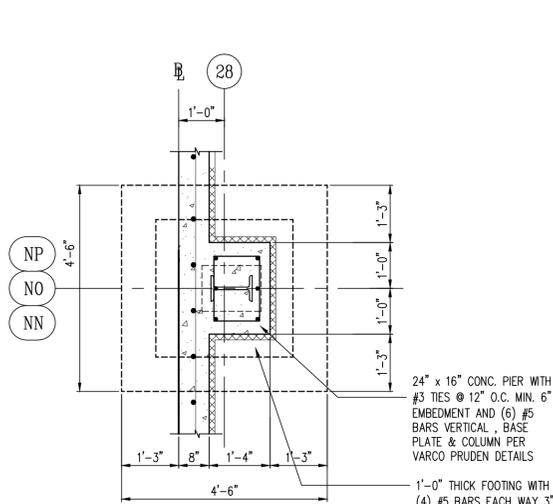
2 COLUMN FOOTING  
S2.1 SCALE: 1/2" = 1'-0"



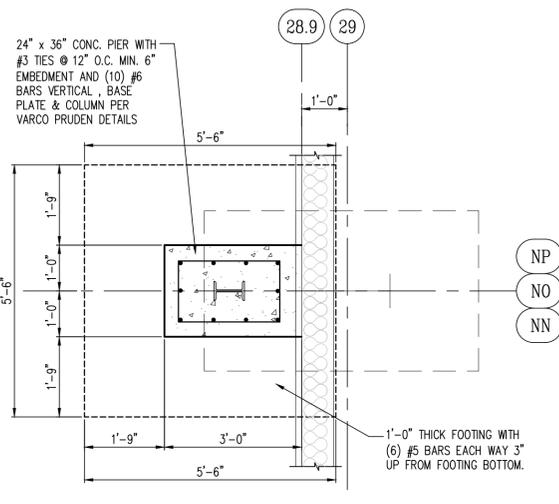
3 TYPICAL GRADE BEAM DETAIL  
S2.1 SCALE: 1/2" = 1'-0"



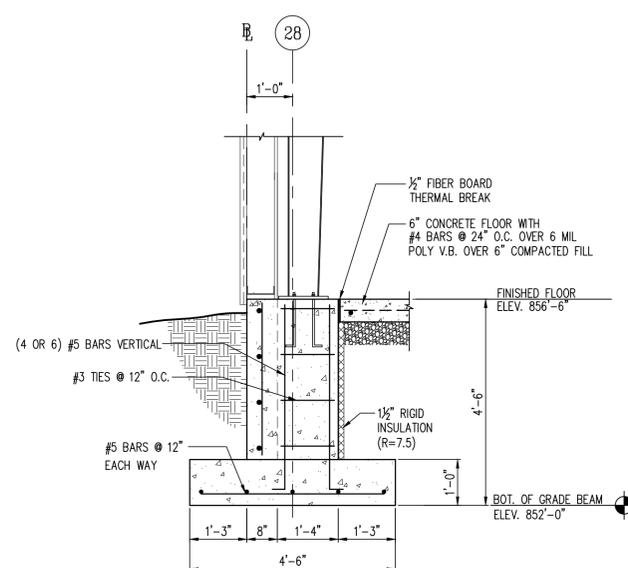
4 CONCRETE STOOP SECTION  
S2.1 SCALE: 1/2" = 1'-0"



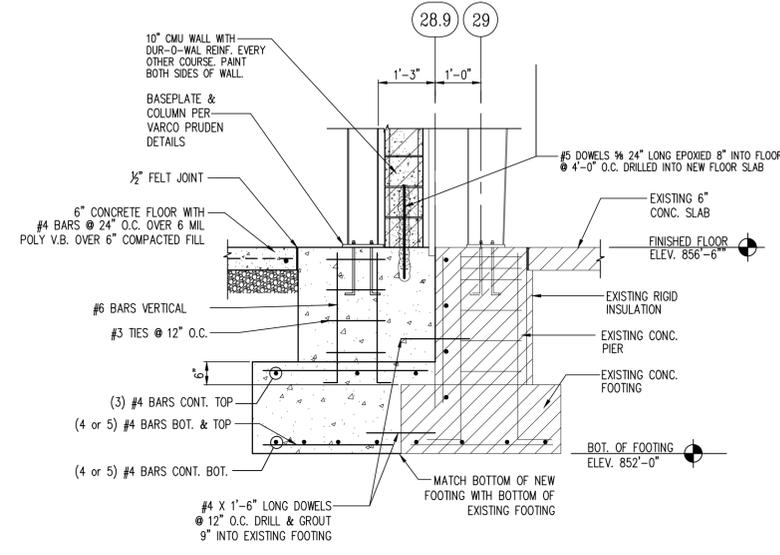
5 COLUMN FOOTING  
S2.1 SCALE: 1/2" = 1'-0"



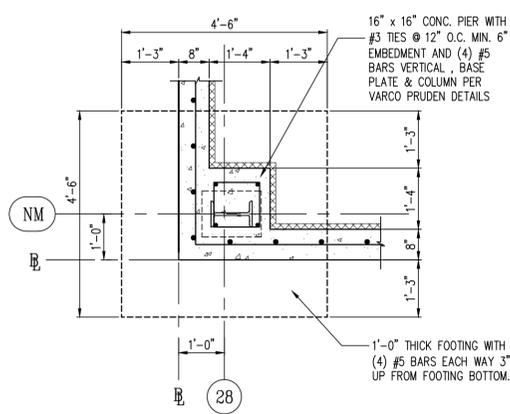
6 COLUMN FOOTING  
S2.1 SCALE: 1/2" = 1'-0"



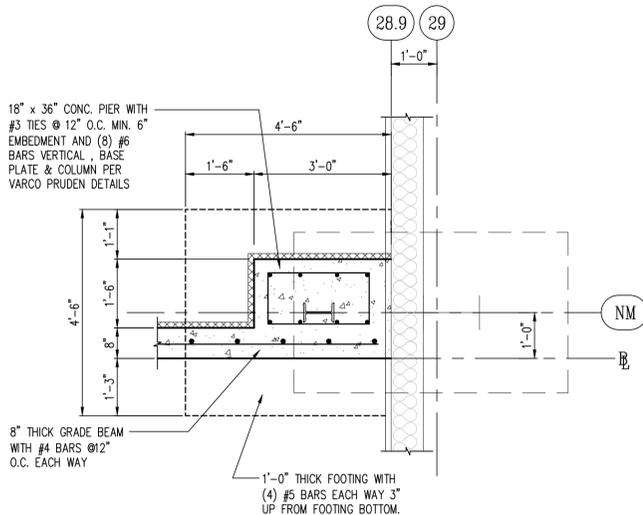
7 SECTION THROUGH COLUMN FOOTINGS ALONG GRID 28  
S2.1 SCALE: 1/2" = 1'-0"



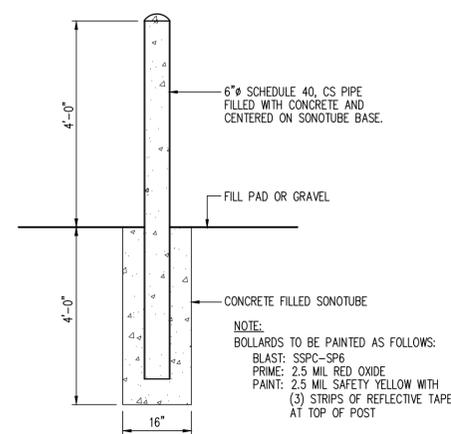
8 SECTION THROUGH COLUMN FOOTING  
S2.1 SCALE: 1/2" = 1'-0"



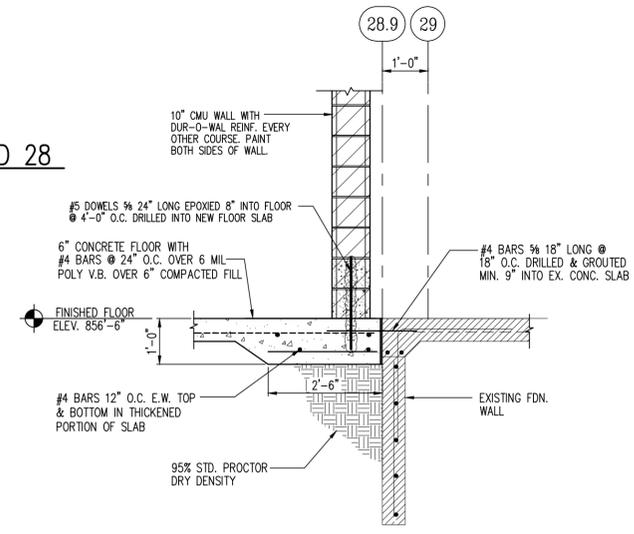
9 COLUMN FOOTING  
S2.1 SCALE: 1/2" = 1'-0"



10 COLUMN FOOTING  
S2.1 SCALE: 1/2" = 1'-0"



11 PIPE BOLLARD DETAIL  
S2.1 SCALE: 1/2" = 1'-0"



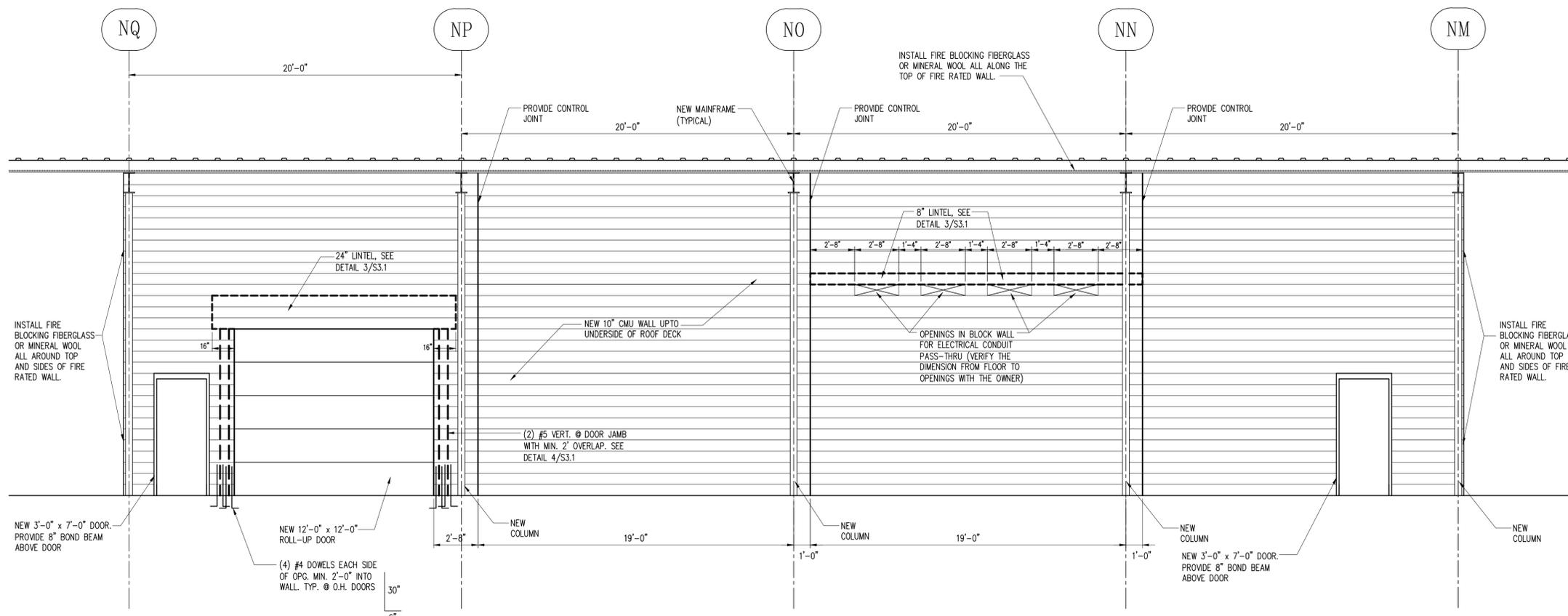
12 SECTION AT THICKENED SLAB  
S2.1 SCALE: 1/2" = 1'-0"

ISSUED FOR  
CONSTRUCTION  
07-08-2015

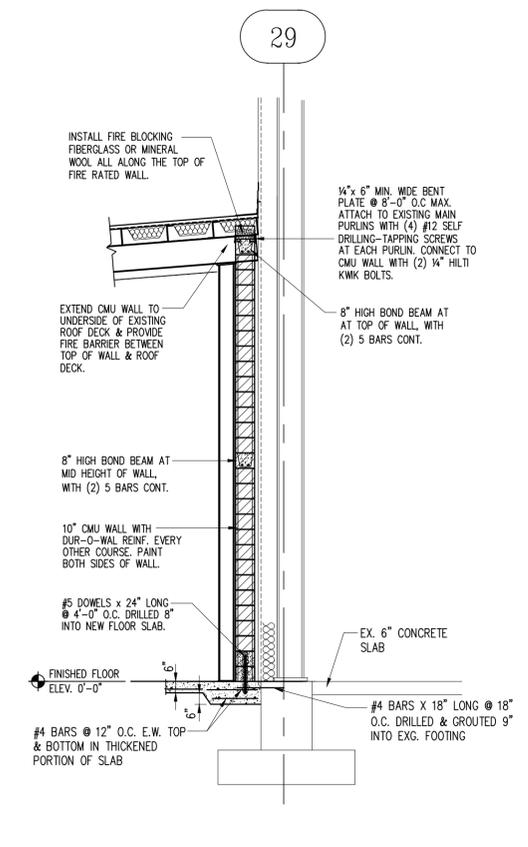
PROJECT:	2015 NEW SUBSTATION CARDINAL FLOAT GLASS PORTAGE, WISCONSIN
SHEET NO.:	S2.1
FOUNDATION DETAILS	
BRANCH OFFICE:	TLR
CHECKED BY:	MFD
DATE:	02/19/15
DWG FILE:	050-028-S21
REF FILE:	050-026
JOB NUMBER:	050-026
ISSUED FOR CONSTRUCTION	MFD 07-08-15
ISSUED FOR STATE REVIEW	MFD 06-24-15
REVISION DESCRIPTION:	NAME: DATE:

AUTH. CONSULTING/ASSOCIATES  
 S&N Land Surveying  
 BRANCH OFFICE: 2820 Faber Street, Suite 101, Hudson, WI 54016  
 CORPORATE OFFICE: 406 Technology Drive East, Suite A, Menomonone, WI 54751  
 Tel 715-381-5277, Fax 715-381-5338, hudson@southlandsurveying.com, menomonone@southlandsurveying.com

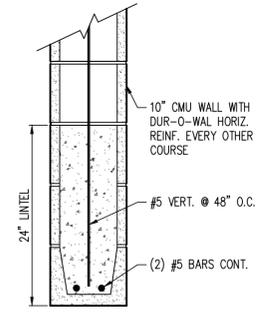




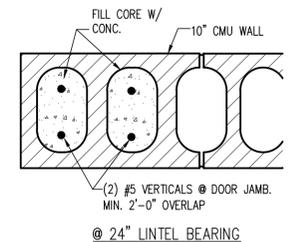
1 INTERIOR CONCRETE BLOCK WALL ELEVATION VIEW  
SCALE: 1/4" = 1'-0"



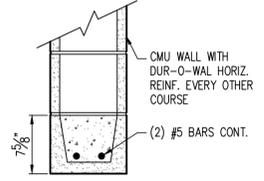
2 CMU WALL SECTION  
SCALE: 1/4" = 1'-0"



24" LINTEL (ABOVE 12'-0" DOOR)  
MIN. 16" BEARING EACH SIDE OF OPENING

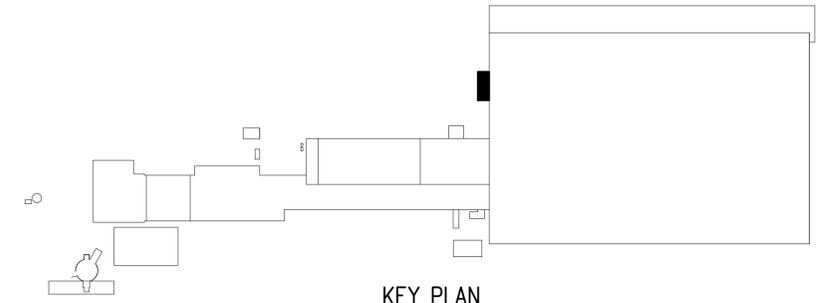


4 LINTEL BEARING DETAILS  
NOT TO SCALE



8" LINTEL (BOND BEAM) ABOVE 3' DOOR & OTHER OPGS.  
MIN. 8" BEARING EACH SIDE OF OPENING

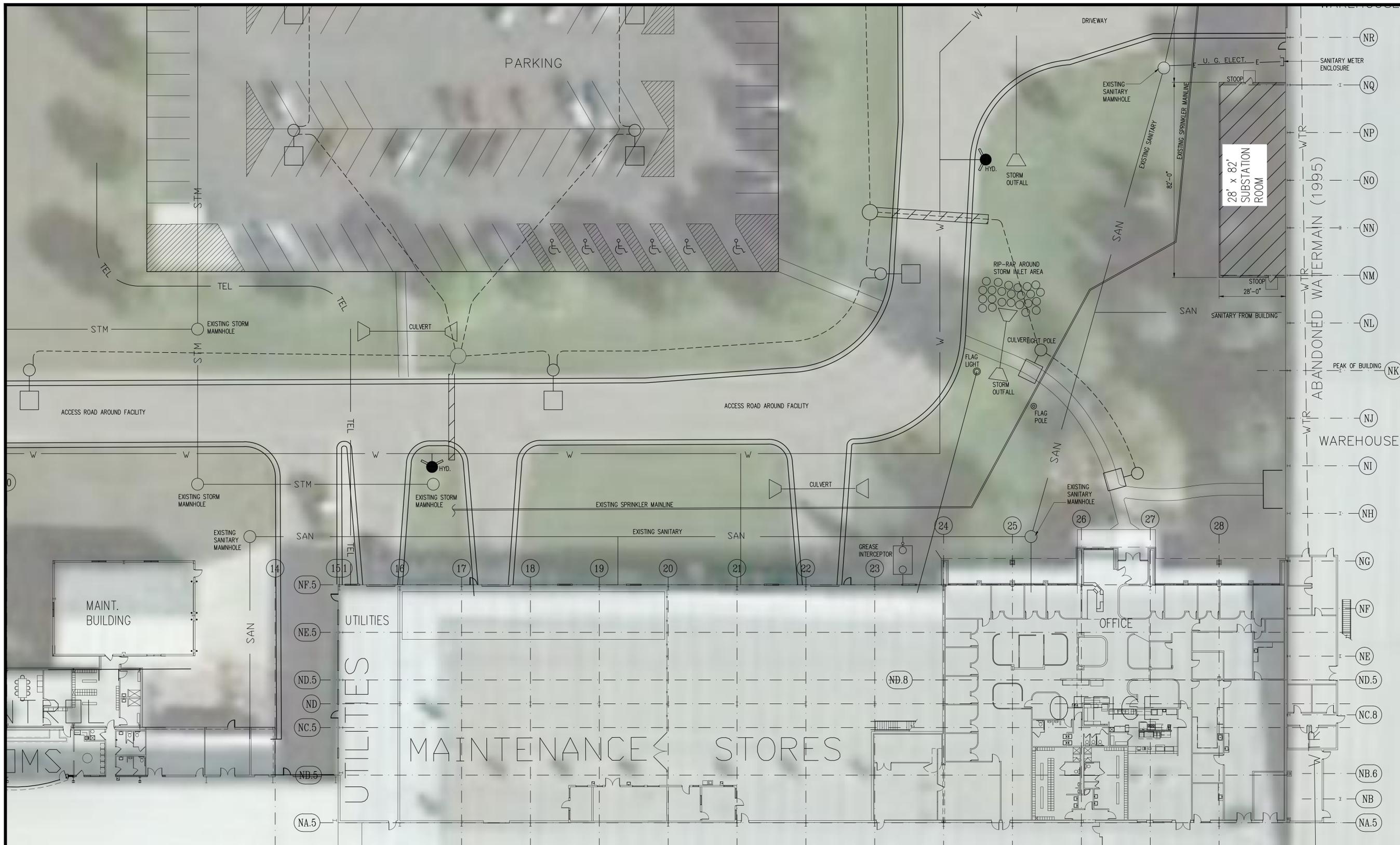
3 TYP. LINTEL DETAILS  
NOT TO SCALE



KEY PLAN

ISSUED FOR CONSTRUCTION  
07-08-2015

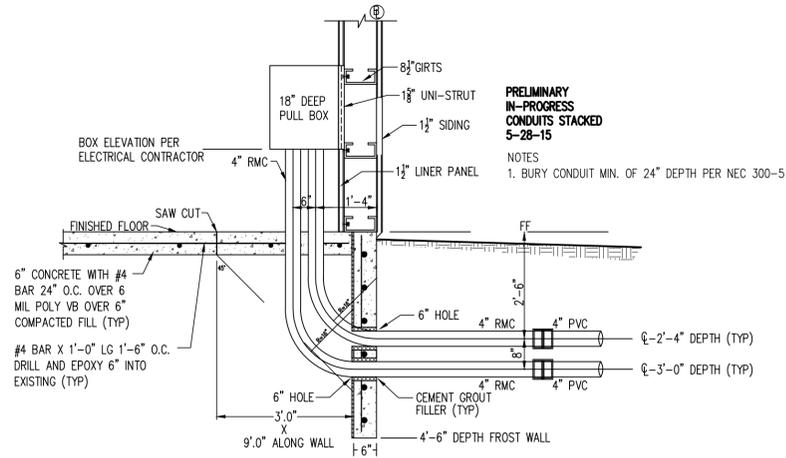
PROJECT:	2015 NEW SUBSTATION ADDITION CARDINAL FLOAT GLASS PORTAGE, WISCONSIN	ISSUED FOR CONSTRUCTION	MRD 07-08-15
SHEET NO.:	S3.1	REVISION DESCRIPTION:	NAME:
A.C/a		JOB NUMBER: 050-026	DATE:
Auth. Consulting/associates		REF FILE: 050-026	NAME:
BRANCH OFFICE		DWG FILE: 050-026-S31	DATE:
2320 Baboe Street Suite 101 Hudson, WI 54016 Tel 715-381-5277		CHECKED BY: MRD	DATE: 07/08/15
CORPORATE OFFICE		DRAWN BY: JRL	DATE: 07/08/15
408 Technology Drive E. Suite A Menomonie, WI 54751 Tel 715-232-8490 Fax 715-232-8482		S&N Land Surveying	



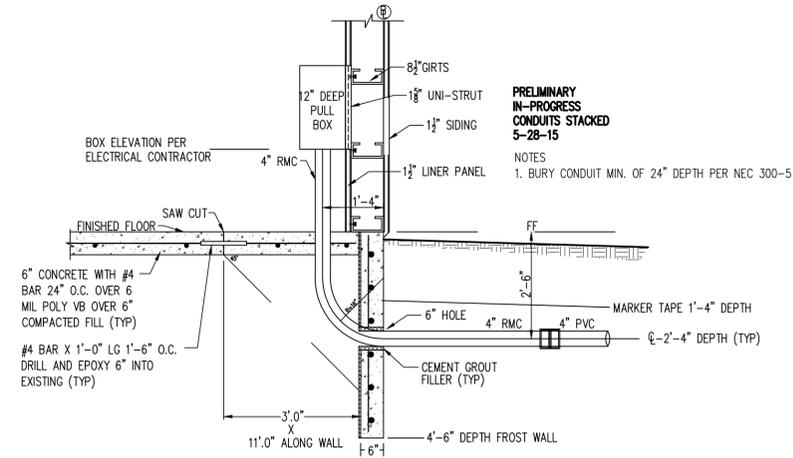
1 PARTIAL SITE PLAN - EXISTING CONDITIONS - CONDUIT ROUTING PLAN  
 E1.1 SCALE: 1" = 20'

ISSUED TO  
 SIEMENS FOR REVIEW  
 06-30-2015

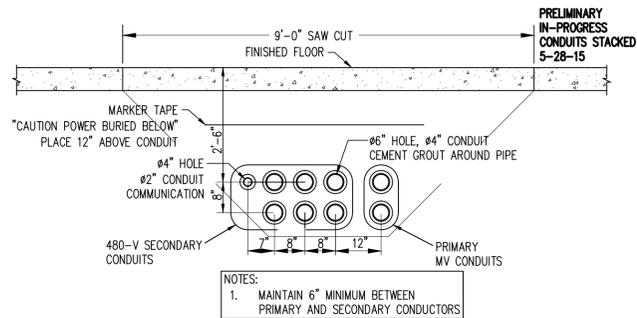
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SHEET NO.:		E1.1	
PROJECT:		ELECTRICAL CONDUIT ROUTING PLAN	
		 AUTH. CONSULTING/ASSOCIATES S&N Land Surveying	
CORPORATE OFFICE 400 Technology Drive East Suite A Menomonie, WI 54751 Tel 715-282-8400 Fax 715-282-8402 aac@autconsulting.com	BRANCH OFFICE 2820 Babco Street Suite 101 Hudson, WI 54016 Tel 715-381-8277 Fax 715-381-5338 hudson@autconsulting.com	DRAWN BY: JRL CHECKED BY: MrD DATE: 05/20/15 DWG FILE: 050-026E11 REF FILE: 050-026	ISSUED FOR STATE REVIEW REVISION DESCRIPTION: MRD 06-24-15 NAME: DATE:



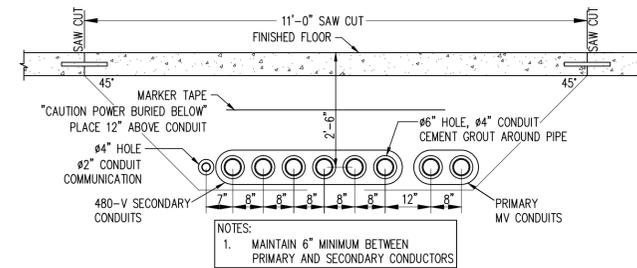
1 CONDUIT ENTRY PLAN  
E1.2 SCALE: 1/2" = 1'-0"



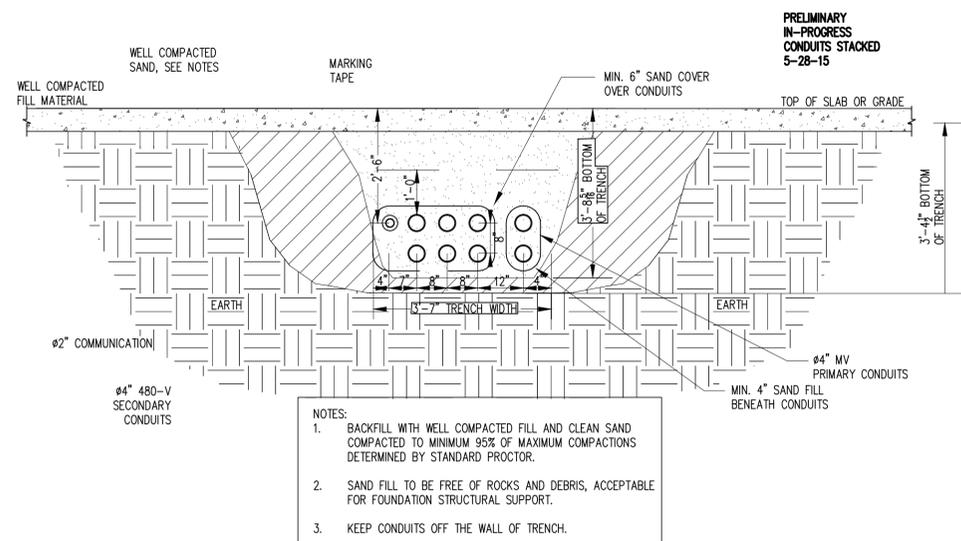
2 CONDUIT ENTRY PLAN - CONDUITS LAID FLAT  
E1.2 SCALE: 1/2" = 1'-0"



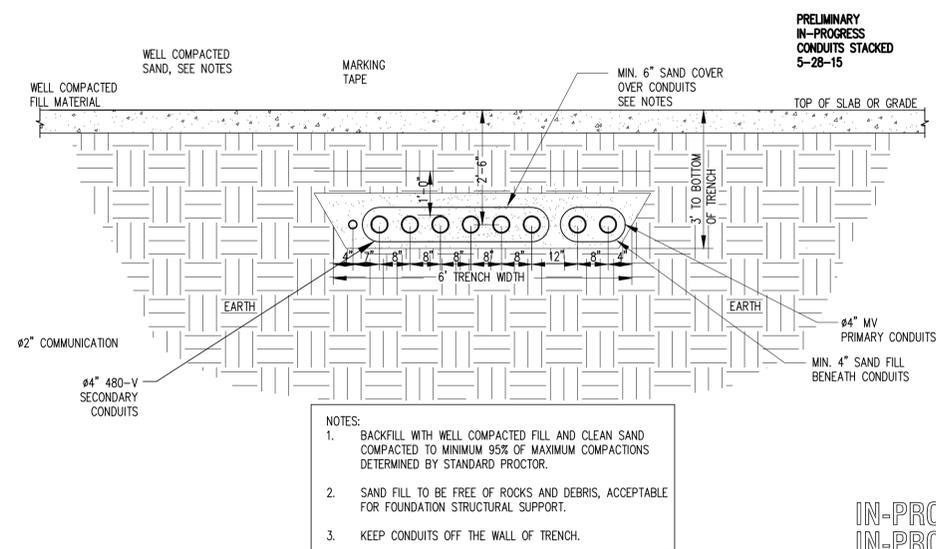
3 TYPICAL FROST WALL CORE DRILL PLAN  
E1.2 SCALE: 1/2" = 1'-0"



4 FROST WALL CORE DRILL PLAN - CONDUITS LAID FLAT  
E1.2 SCALE: 1/2" = 1'-0"



5 TRENCH FILL PLAN  
E1.2 SCALE: 1/2" = 1'-0"



6 TRENCH FILL PLAN - CONDUITS LAID FLAT  
E1.2 SCALE: 1/2" = 1'-0"

IN-PROGRESS  
IN-PROGRESS  
07-08-2015

PROJECT:	2015 NEW SUBSTATION CARDINAL FLOAT GLASS PORTAGE, WISCONSIN
DRAWN BY:	JS
CHECKED BY:	Mrd
DATE:	06-05-15
DWG FILE:	050-026-E1.2
REF FILE:	050-026
JOB NUMBER:	050-026
REVISION DESCRIPTION:	
NAME:	
DATE:	



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ac/a@ac/a.com

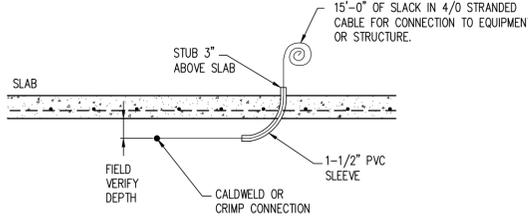
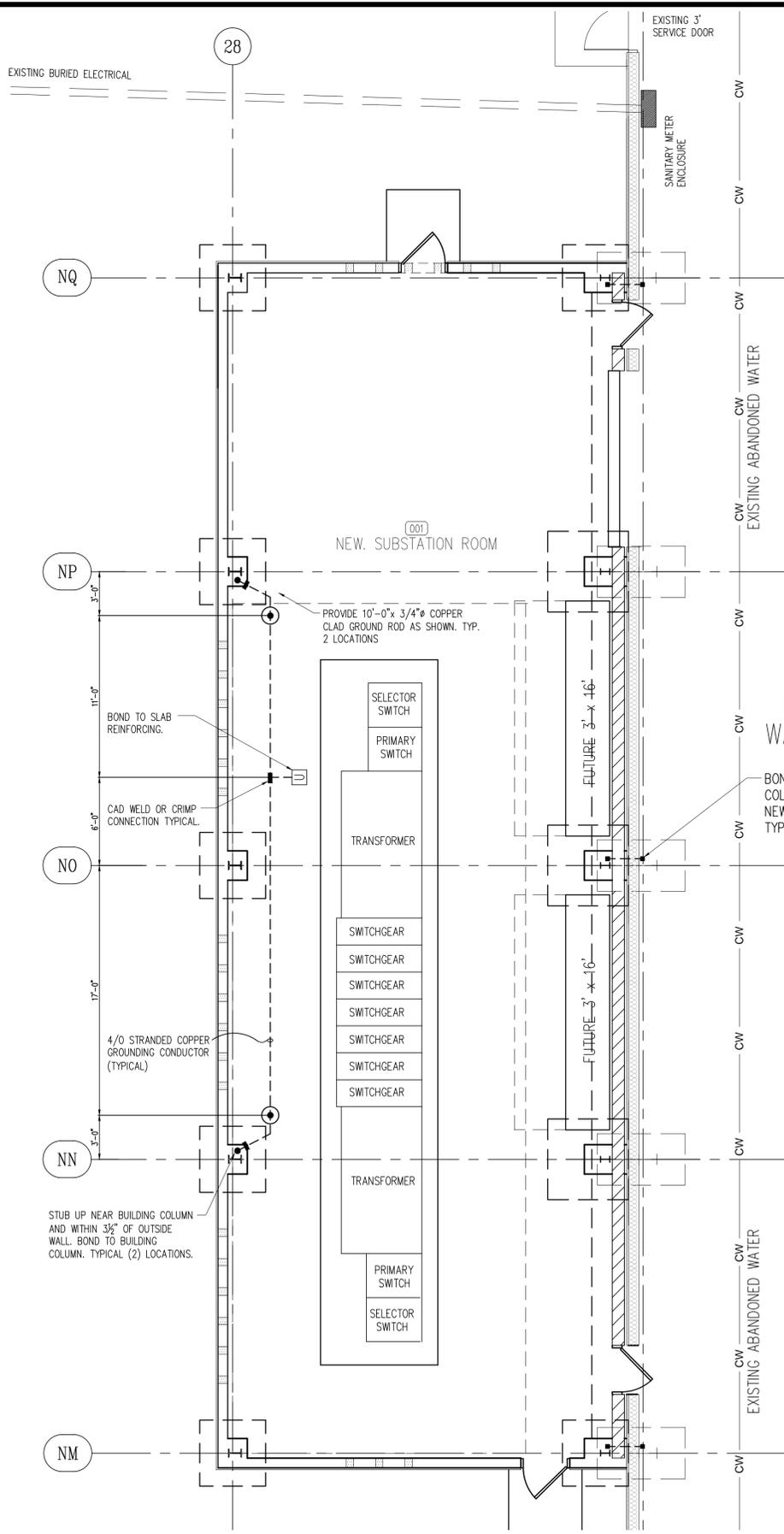


S&N Land Surveying  
Auth. Consulting/associates

PROJECT:  
2015 NEW SUBSTATION  
CARDINAL FLOAT GLASS  
PORTAGE, WISCONSIN

SHEET NO.  
E1.2

ELECT. CONDUIT ROUTING DETAILS



2 TYP. GROUND STUB-UP DETAIL  
N.T.S.

LEGEND	
	UFER GROUND - BOND TO SLAB REINFORCING
	GROUND ROD
	CADWELD OR CRIMP CONNECTION
	STUB UP LOCATION
	BONDING JUMPER FROM NEW COLUMN TO EXISTING COLUMN

DRAWN BY: JRL	ISSUED FOR CONSTRUCTION	MRD 07-08-15
CHECKED BY: MFD	ISSUED FOR STATE REVIEW	MRD 06-24-15
DATE: 02/10/15	REVISION DESCRIPTION:	NAME: DATE:
DWG FILE: 050-026E21		
REF FILE: 050-026		
JOB NUMBER: 050-026		

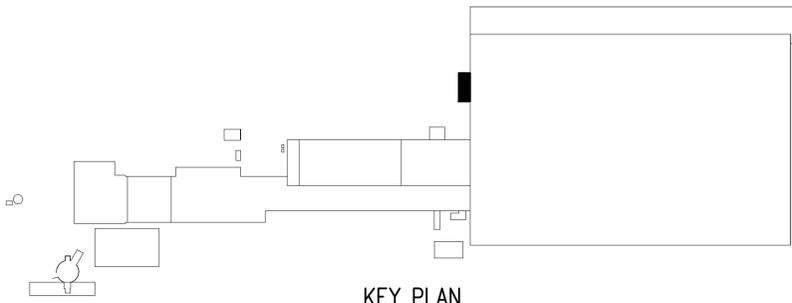
**AC/a**  
Auth-Consulting/associates

**S&N Land Surveying**

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hudson@authconsulting.com

ISSUED FOR CONSTRUCTION  
07-08-2015



KEY PLAN

1 NEW SUBSTATION GROUNDING PLAN  
SCALE: 3/16" = 1'-0"

PROJECT:	2015 NEW SUBSTATION CARDINAL FLOAT GLASS PORTAGE, WISCONSIN
SHEET NO.	E2.1
BUILDING GROUNDING PLAN	

LIGHTING FIXTURE SCHEDULE							
TYPE	MANUFACTURER	CATALOG NUMBER	LAMPS	VOLTAGE	INPUT WATTAGE	DESCRIPTION	NOTES
1	DAY-BRITE	TT232	4	UNV	128	8' 4-LAMP TB STRIP FIXTURE	-
2		LED				LED WALL PACK INTERNAL PC	-
X1							-
X2	DAY-BRITE	CCHX223RW MCMMP2WM	-	UNV	-	LED EXIT SIGN WITH DUAL 5.4W EMERGENCY HEADS AND BATTERY BACKUP WITH DUAL REMOTE EGRESS HEADS	-
X3	DAY-BRITE	CTXGL12WCSWA	-	UNV	-	DUAL 5.4W EMERGENCY HEADS WITH BATTERY BACKUP	-

**GENERAL NOTES:**

- SUBSTITUTE FIXTURES MAY BE USED - BALLAST TYPE, LAMP TYPE, AND WATTAGE SHALL REMAIN THE SAME.
- BALLAST TYPE SHALL BE ELECTRONIC RAPID/PROGRAM START, <10% THD AND NORMAL BALLAST FACTOR UNLESS NOTED OTHERWISE.
- COOPER, LITHONIA AND HUBBELL ARE THE PREFERRED LIGHTING MANUFACTURERS.
- PROVIDE ALL REQUIRED MOUNTING ACCESSORIES TO INSTALL A COMPLETE FINISHED AND OPERABLE LIGHTING SYSTEM TO THE OWNERS SATISFACTION.
- CODE COMPLIANCE - IECC 2009 AS ALLOWED BY THE IECC 501.2 AMENDED BY COMM 63.0501.

LIGHTING LEGEND	
	RECESSED 2x4 FLUORESCENT FIXTURE
	SURFACE MOUNTED FIXTURE
	SURFACE WALL MOUNTED FIXTURE
	STRIP FIXTURE
	LED EXIT SIGN-SHADED AREA INDICATES ILLUMINATED FACE
	LED EXIT/EMERGENCY SIGN-SHADED AREA INDICATES ILLUMINATED FACE
	EXTERIOR EMERGENCY EGRESS LIGHT
	PHOTOCELL MOUNTED HIGH ON WALL AIMED NORTH
	EMERGENCY FIXTURE
	SINGLE POLE SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	WALL MOUNTED SINGLE LEVEL OCCUPANCY SENSOR
	INDICATES LIGHT FIXTURE SWITCH-LEGS
	INDICATES LIGHT FIXTURE TYPE
	INDICATES FIXTURE WITH 1400 LUMEN EMERGENCY BALLAST
	INDICATES EXISTING DEVICE
	INDICATES PHOTOCELL CONTROLLED FIXTURE

FIRE ALARM SCHEDULE			
SYMBOL	DESCRIPTION	MANUFACTURER - MODEL #	NOTES
	ADDRESSABLE PHOTOELECTRIC SMOKE DETECTOR	SIMPLEX - #4098-9714	-
	ADDRESSABLE THERMAL HEAT & RATE OF RISE DETECTOR	SIMPLEX - #4098-9733	-
	ADDRESSABLE SINGLE ACTION PULL STATION	SIMPLEX - #4099-9001	-
	STROBE WITH FIELD SELECTABLE CANDELA	SIMPLEX - #4906-9101	-
	HORN STROBE WITH FIELD SELECTABLE CANDELA	SIMPLEX - #4906-9127	-
	FLAME DETECTOR	SIMPLEX - #008500-001	-
	NAC EXTENDER IDNET	SIMPLEX - #4009-9201	1
	FIRE ALARM CONTROL PANEL	SIMPLEX - #4100-9111	2
	FIRE ALARM ANNUCIATOR	SIMPLEX - #54603-0001	-

**ELECTRIC GENERAL NOTES**

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL ELECTRICAL CODES.
- COORDINATE WORK WITH ALL OTHER TRADES.
- EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- ALL WIRING SHALL BE INSTALLED IN APPROVED RACEWAYS. EMT CAN BE USED IN ALL LOCATIONS.
- ALL EQUIPMENT GROUNDING CONDUCTORS SHALL BE INSTALLED AT ALL LOCATIONS.
- USE COMMERCIAL GRADE SWITCHES.
- ALL MEASUREMENTS TO TOP OF BOX. RECEPTACLES SHALL BE 20" A.F.F. SWITCHES SHALL BE 48" A.F.F.

POWER & COMMUNICATION LEGEND	
	120V DUPLEX OUTLET
	120V QUAD OUTLET
	250 VOLT RECEPTACLE
	DATA/COMMUNICATIONS OUTLET
	TELEPHONE OUTLET
	TELEVISION OUTLET
	TELE/DATA/CATV COMBO OUTLET
	FLOOR MOUNTED 120V. QUAD OUTLET
	JUNCTION BOX
	MOTOR CONNECTION
	ELECTRICAL DISCONNECT
	ELECTRICAL CONNECTION W/NON-FUSED DISCONNECT
	ELECTRICAL CONNECTION W/WEATHER PROOF DISCONNECTS
	ELECTRICAL CONNECTION W/20A SWITCH FUSE
	PANELBOARD

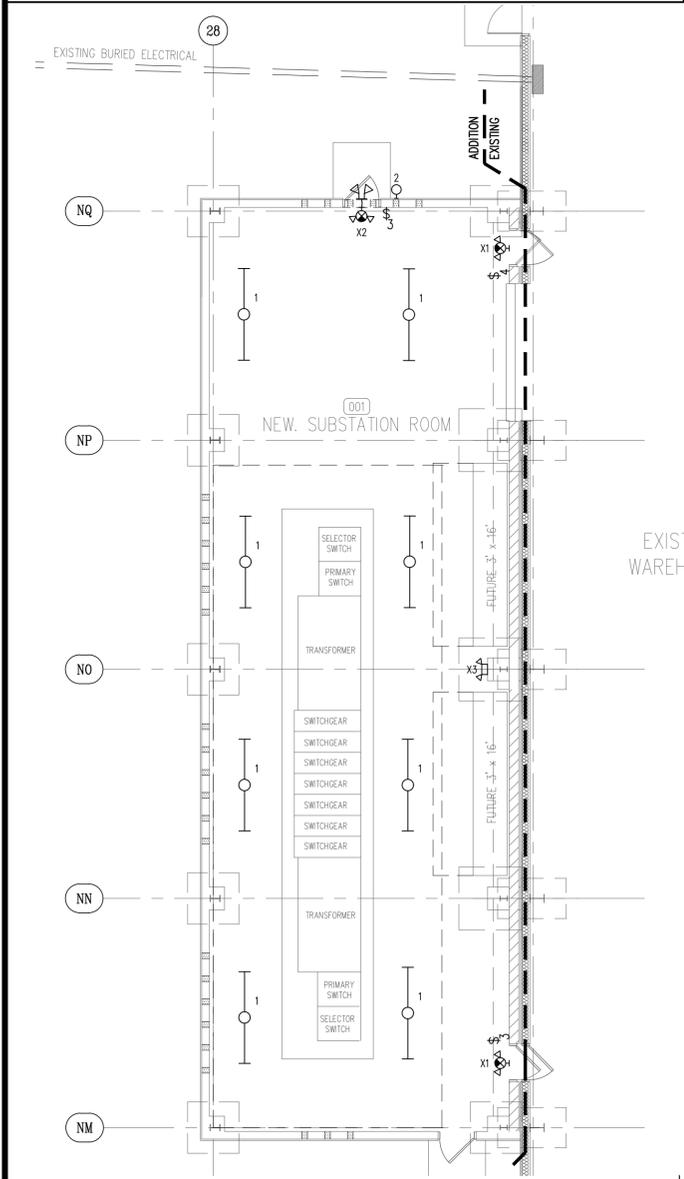
**GENERAL NOTES:**

- PROVIDE ALL REQUIRED MOUNTING ACCESSORIES TO INSTALL A COMPLETE FINISHED AND OPERABLE FIRE ALARM SYSTEM TO THE OWNERS SATISFACTION.
- PROVIDE 6.2 AH BATTERY
- PROVIDE 33 AH BATTERY

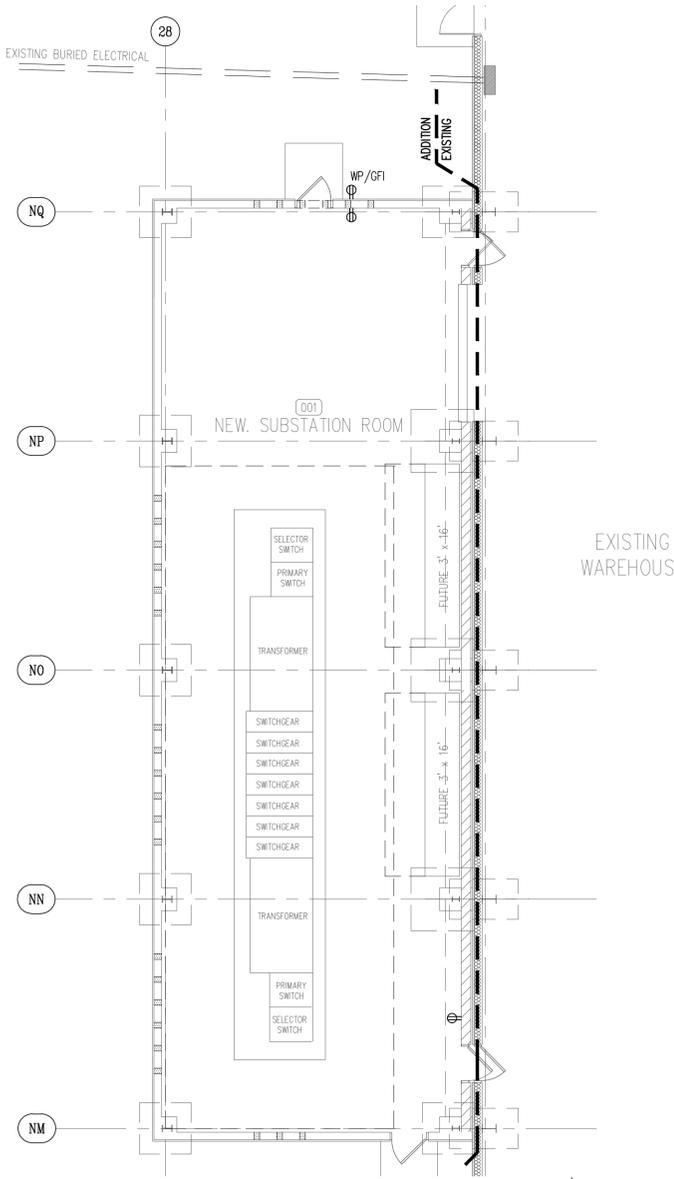
**FIRE ALARM GENERAL NOTES**

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL ELECTRICAL CODES.
- COORDINATE WORK WITH ALL OTHER TRADES.
- EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- FIRE ALARM WIRE AND DEVICES SHALL BE INSTALLED USING EMT AND ALL REQUIRED JUNCTION BOXES PER THE MANUFACTURER'S RECOMMENDATIONS.
- FIRE ALARM SYSTEM MUST BE KEPT IN OPERATION DURING CONSTRUCTION.

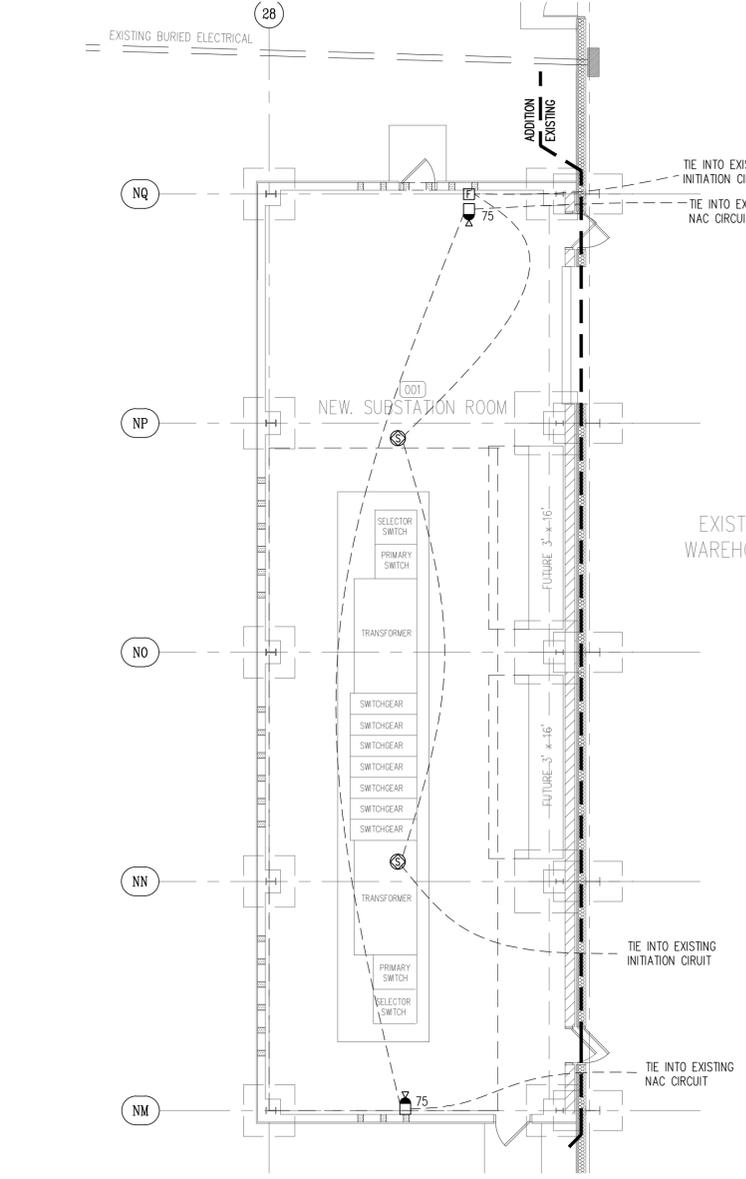
FIRE ALARM LEGEND	
	ADDRESSABLE PULL STATION
	HORN STROBE
	STROBE
	ADDRESSABLE SMOKE DETECTOR
	ADDRESSABLE HEAT DETECTOR
	FLAME DETECTOR
	FIRE ALARM CONTROL PANEL
	END OF LINE RESISTOR
	JUNCTION BOX
	FLOW SWITCH
	INDICATES EXISTING DEVICE
	ADDRESSABLE DUCT DETECTOR



1 LIGHTING PLAN  
SCALE: 1/8" = 1'-0"



2 POWER PLAN  
SCALE: 1/8" = 1'-0"



3 FIRE ALARM PLAN  
SCALE: 1/8" = 1'-0"

PRELIMINARY  
IN PROGRESS  
07-08-2015

PROJECT: 2015 SUBSTATION ADDITION  
CARDINAL FLOAT GLASS  
PORTAGE, WISCONSIN

SHEET NO. E2.2

BRANCH OFFICE: 2920 Enloe Street, Suite 101, Hudson, WI 54016  
CORPORATE OFFICE: 406 Technology Drive East, Suite A, Menomonie, WI 54751

DATE: 02/10/15  
DWS FILE: 050-026E22  
REF FILE: 050-026

ISSUED FOR STATE REVIEW  
REVISION DESCRIPTION: MRD 06-24-15

Auth. Consulting/associates  
S&N Land Surveying

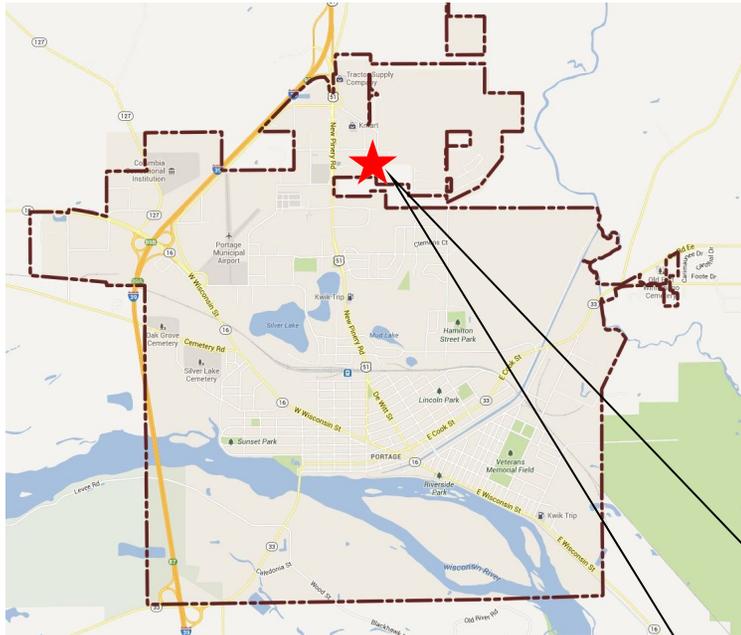


NTS

# CITY OF PORTAGE, WI

## *Divine Savior Health Care Parcel #3142.07*

### Site Plan for a Wellness Center



## CITY OF PORTAGE

115 West Pleasant Street  
Portage, Wisconsin 53901  
Telephone: (608) 742-2176 • Fax: (608) 742-8623



*'Where the North Begins'*

## Memorandum

TO: Plan Commission

FROM: Steve Sobiek, Director-Business Development and Planning

DATE: July 15, 2015

RE: Divine Savior HealthCare Parking Lot Reconfiguration

CC: Shawn Murphy, City Administrator

Bob Redelings, City Engineer/ Public Works Director

The subject property is located on parcel 3142.07, at 2817 New Pinery Road. The parcel is zoned B 3 Interchange Business.

The proposed Divine Savior parking lot reconfiguration layout provides more green space near the entrance and will better facilitate additional parking facilities in the future. Though the proposal reduces the number of approved parking spaces, the parking lot will still exceed code requirements – 309 new stalls are required by code and 527 stalls are proposed whereas 581 were previously proposed and approved.

The watermain and drainage features have been realigned. The permanent watermain easement will need to reflect the proposed realignment.

The landscaping plan as submitted satisfies the City landscaping point value requirements.

The lighting plan provides adequate lighting for the realigned area.

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## MEMORANDUM

---

**DATE:** July 2, 2015

**TO:** Andy Palec

**FROM:** Lee R. Reibold, P.E.

**RE:** Divine Savior Healthcare MOB & Rehab Facility  
West parking lot & access road revisions

**The following changes were made with the revision of the west parking lot and perimeter access road:**

- The water main alignment has been revised including the relocation of one hydrant; this results in an additional 15-ft of 8-inch water main.
- Addition of three (3) curb inlets along perimeter road and addition of one (1) 48-inch manhole.
- Elimination of one (1) 36-inch storm inlet manhole.
- Addition of 81-ft of 18-inch storm sewer and addition of 10-ft of curb inlet leads.
- Two 48-inch storm manhole rim elevation adjustments; reduction from 4.29-ft to 3.75-ft depth and 4.55-ft to 3.49-ft depth.
- Net loss of 54 parking stalls.
- Curb & gutter and asphalt pavement quantity changes:
  - Additional 290-ft of concrete curb and gutter
  - Additional 3,650-sq ft of heavy asphalt pavement
  - Reduction of 19,850-sq ft of light asphalt pavement
  - Reduction of 1,165-sq ft of concrete sidewalk

## Divine Savior Campus Improvements

<b>New Use</b>	<b>Basis</b>	<b>Section</b>	<b>Stalls Req.</b>
Storage	18,444 SF / 2,000	90-59	10
Professional	65,338 SF / 300	90-58	217
Wellness	200 Lockers / 3	90-58	67
Daycare	35 Children / 5	90-58	7
	1 per Employee (max shift)	90-58	8
	<b>CODE REQUIRED NEW PARKING STALLS</b>		<b>309</b>
New Stalls Provided			<b>527</b>
Excess New Stalls			218
<b>Recap:</b>			
Existing Parking Spaces			<b>695</b>
Displaced			-93
Total Campus Spaces			<b>1129</b>

## **NARRATIVE IN SUPPORT OF THE REQUEST FOR A MODIFICATION TO SITE PLAN**

### **DIVINE SAVIOR HEALTHCARE CAMPUS IMPROVEMENTS**

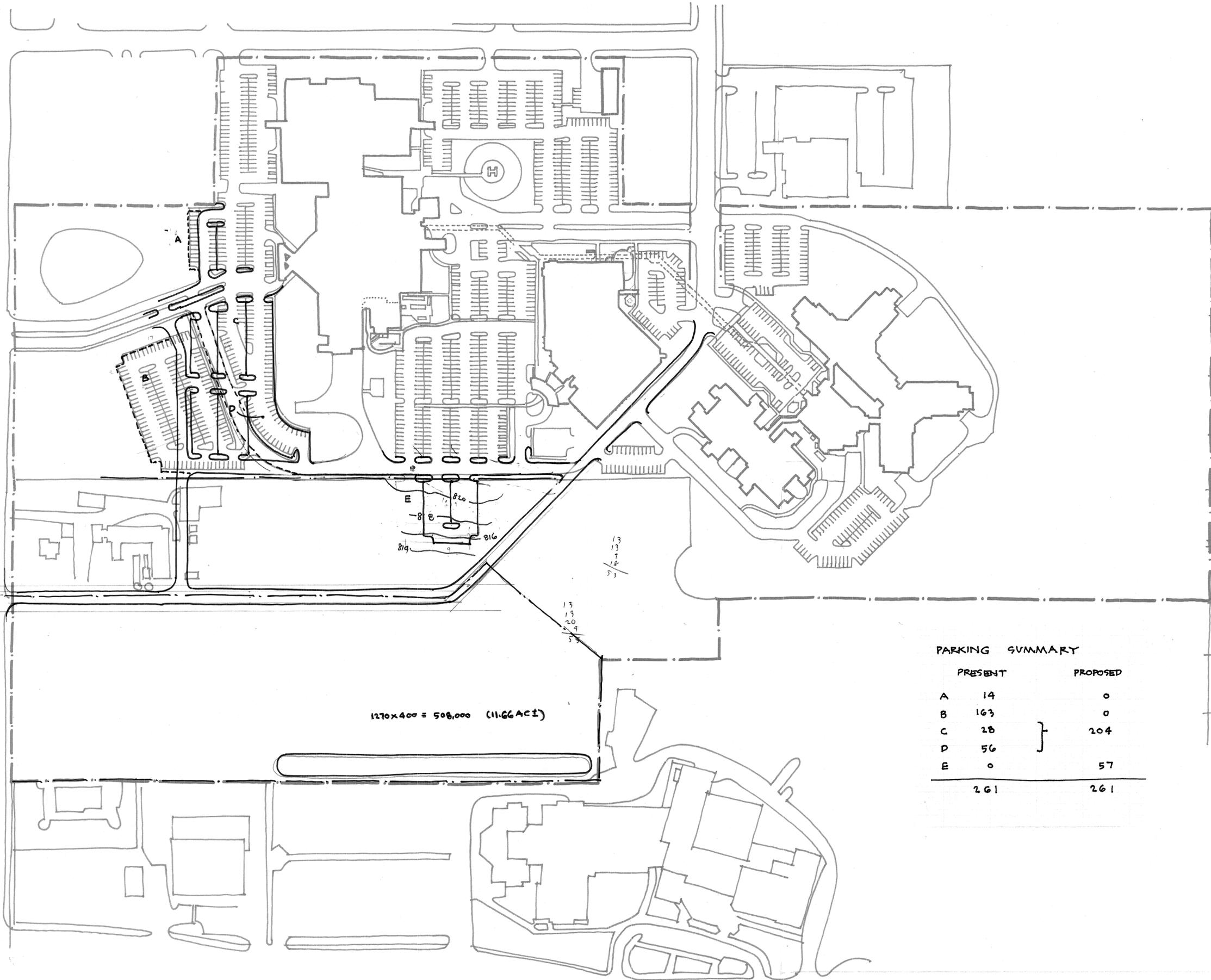
In November 2014, Divine Savior Healthcare (DSH) applied for and received site plan approval for the development of a medical office building and wellness center to accommodate the existing and future growth of its orthopedic and rehabilitation services provided to the community. An addition to the hospital for expansion of the surgery department was also part of the approval.

Subsequent to approval of the site plan and issuance of the conditional use permit for the development, Divine Savior Healthcare acquired the Schultz property to the south of the campus. To plan for the future, Administration asked that we revamp the new perimeter driveway for better alignment with a future secondary drive between the hospital campus and the Schultz property. Additionally, Administration requested that we take the opportunity to maximize green space in the front of the campus adjacent to the new storm detention pond.

While reworking the plan to align the perimeter drive, we have reduced the impervious area at the front of the campus allowing for more green space. This eliminates 54 newly planned parking stalls. The development will still be adding 527 new parking stalls, rather than the 581 new stalls originally approved by the Planning Commission. With these new stalls, please note that overall parking on campus will be 1,129 parking stalls, exceeding code requirements.

We had based our parking counts on expected demand, such that we could serve patients and visitors in a convenient fashion. However, demand will increase over a period of time, not all at once, with the initial use about the same as prior to the construction. Once the various doctors and departments now housed in the existing Medical Office Building move to the new Wellness Center, there will be 28,500 square feet available in the existing MOB for future physician recruitment between 2016 and 2021 (It takes time to recruit physicians and build their practices). It is the intent to re-purpose all of the vacated space for physician offices and outpatient clinics in the future. Until that time, the 54 reduced parking stalls will not be needed.

We request approval of the revision to the Site Plan to reduce the impervious surface, re-align the perimeter road and defer construction of 54 parking stalls. When Divine Savior applies for permits in the future to remodel the existing medical office space, a revised parking analysis will be performed and plans submitted should additional parking be warranted.



1270x400 = 508,000 (11.66 AC±)

PARKING SUMMARY

	PRESENT	PROPOSED
A	14	0
B	163	0
C	28	204
D	56	
E	0	57
	<u>261</u>	<u>261</u>



107  
CARDINAL CT

108

109

110

111

112

113

MEADOWLARK  
LANE  
114

DRIVE  
BLUEBIRD



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Milwaukee, WI 53214  
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Fax: 414-453-0112  
Website: www.summit-smith.com

**CSMITH**  
CONSTRUCTION SERVICES  
889 E. Johnson Street  
Fond Du Lac, WI 54930  
Phone: 920-924-2990  
Fax: 920-924-2910  
Website: www.csmith.com

**McMAHON**  
1445 McMahon Drive  
Neenah, WI 54956  
Phone: 920-751-4200  
Fax: 920-751-4294  
Website: www.mcmahon.com

Divine Savior Healthcare  
MOB & Rehab Facility  
New Pinery Road  
Portage, WI 53901

Project:  
11-07-14 LRR  
11-14-14 LRR  
11-20-14 LRR  
12-02-14 LRR

00-00-00 NAME  
00-00-00 NAME  
Issuance / Revisions:  
Date & Issued For:  
OCT., 2014  
Proj. Status

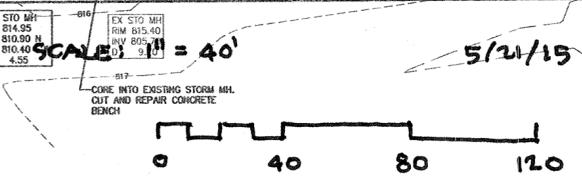
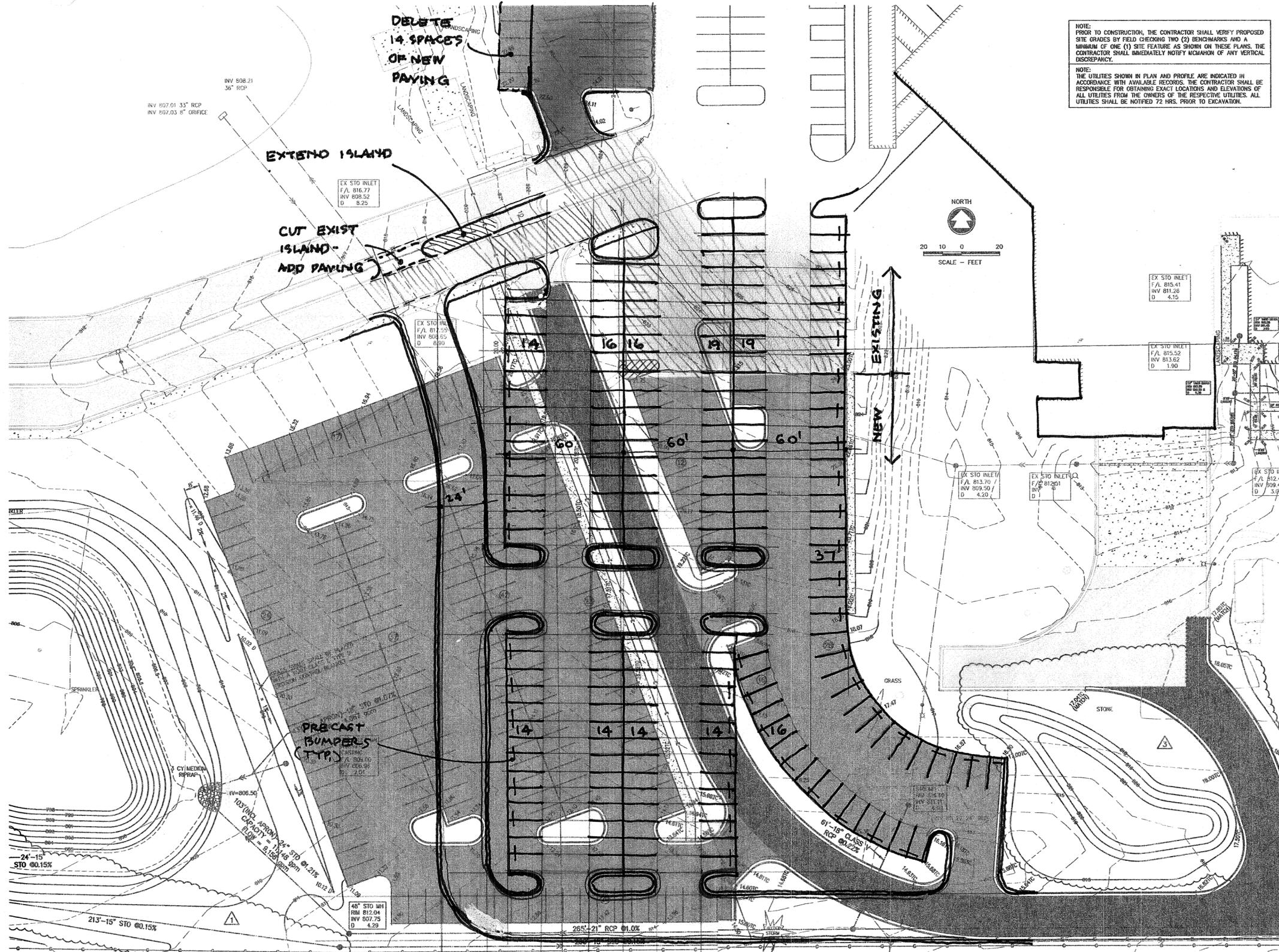
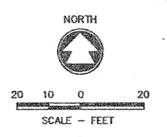
Sheet Name:  
PARKING LOT  
SITE PLAN

Sheet Number:

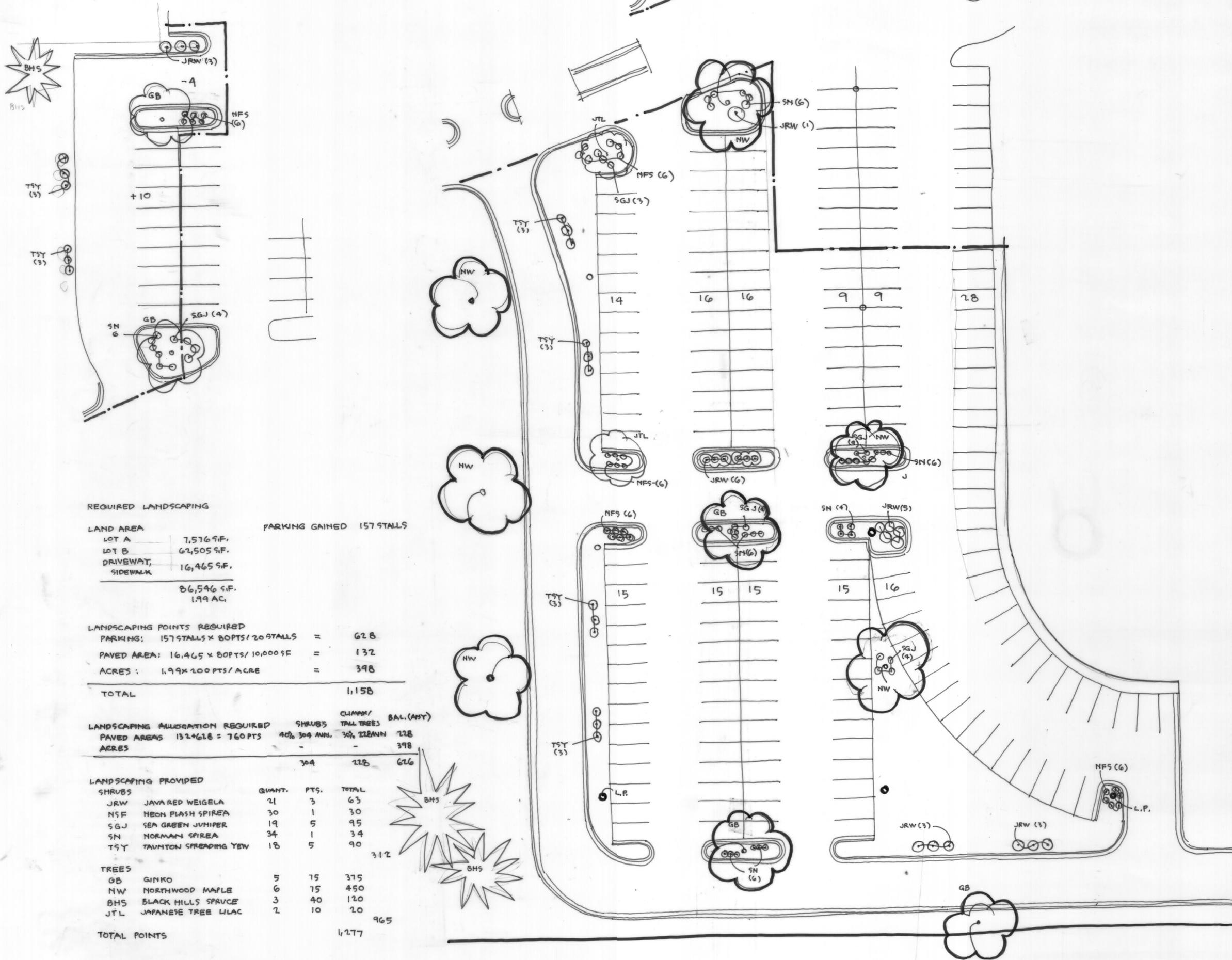
C108

NOTE:  
PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY McMAHON OF ANY VERTICAL DISCREPANCY.

NOTE:  
THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.



CONTRACTOR CAN FIELD ADJUST STORM SEWER LOCATION TO TRY AND AVOID UTILITY CONFLICT



**REQUIRED LANDSCAPING**

<b>LAND AREA</b>		<b>PARKING GAINED 157 STALLS</b>
LOT A	7,576 SF.	
LOT B	62,505 SF.	
DRIVEWAY, SIDEWALK	16,465 SF.	
	<b>86,546 SF.</b>	
	<b>1.99 AC.</b>	

<b>LANDSCAPING POINTS REQUIRED</b>			
PARKING:	157 STALLS X 80PTS/20 STALLS	=	628
PAVED AREA:	16,465 X 80PTS/10,000 SF	=	132
ACRES:	1.99 X 200PTS/ACRE	=	398
<b>TOTAL</b>			<b>1,158</b>

<b>LANDSCAPING ALLOCATION REQUIRED</b>			
PAVED AREAS	132+628 = 760PTS	40% SHRUBS	304
ACRES		30% TALL TREES	228
		BAL. (ANY)	226

<b>LANDSCAPING PROVIDED</b>			
<b>SHRUBS</b>			
JRW	JAVARED WEIGELA	21	3
NJS	NEON FLASH SPIREA	30	1
SGJ	SEA GREEN JUNIPER	19	5
SN	NORMAN SPIREA	34	1
TSY	TAUNTON SPREADING YEW	18	5
			<b>312</b>
<b>TREES</b>			
GB	GINKO	5	75
NW	NORTHWOOD MAPLE	6	75
BHS	BLACK HILLS SPRUCE	3	40
JTL	JAPANESE TREE LILAC	2	10
			<b>965</b>
<b>TOTAL POINTS</b>			<b>1,277</b>

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1445 McMAHON DRIVE, NEENAH, WI 54956  
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Divine Savior Healthcare  
MOB & Rehab Facility  
New Pinery Road  
Portage, WI 53901

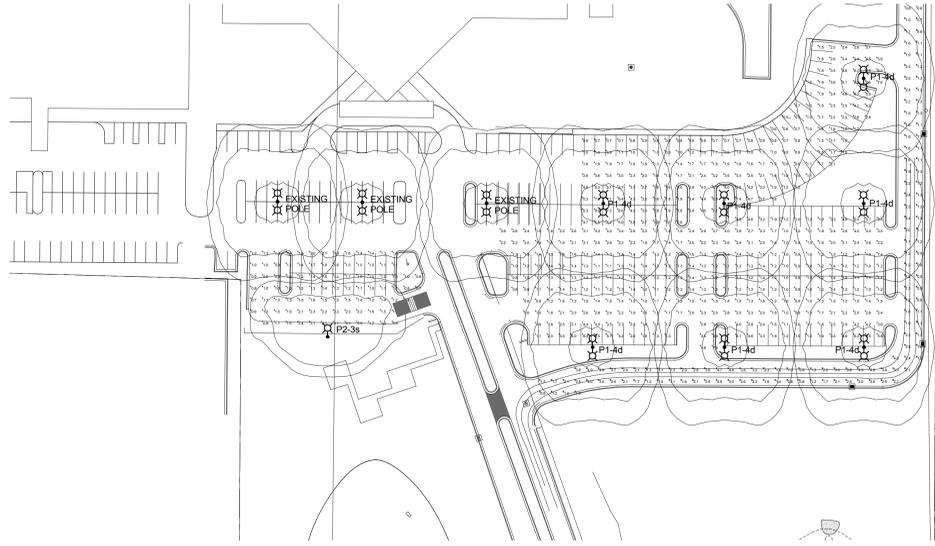
**Divine Savior**  
HEALTHCARE

JULY 1, 2015

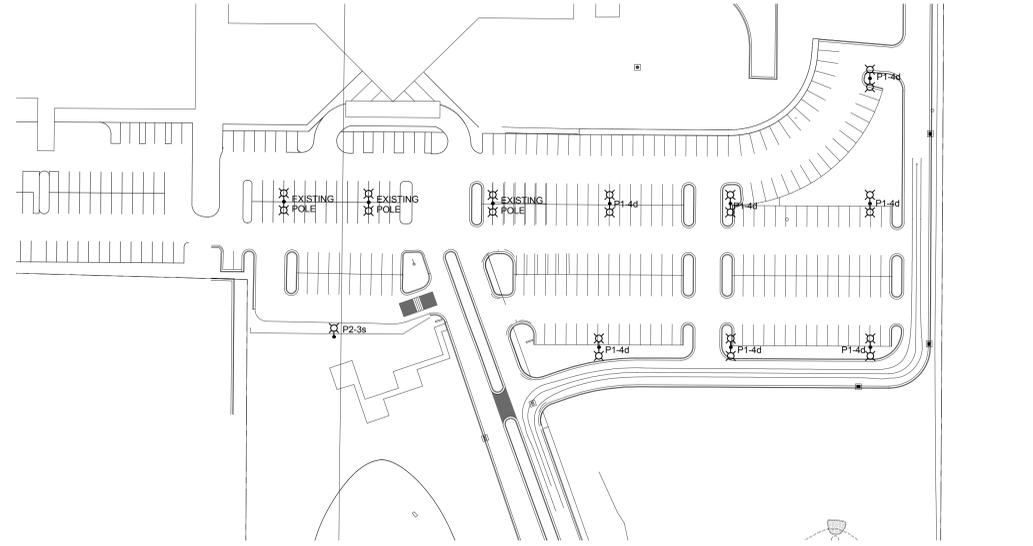
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LANDSCAPE PLAN

Sheet Number:

L102 A



**2 PARTIAL SITE PLAN - PHOTOMETRICS**  
E010c 1" = 60'-0"



**1 PARTIAL SITE PLAN - FIXTURE LOCATIONS**  
E010c 1" = 60'-0"

**H.I.D. AREA LIGHTING**  
**AER SERIES-HID**  
SPECIFICATIONS

**HOUSING**  
Heavy cast low copper aluminum assembly (A356 alloy, ±0.2% copper - AER-A360 alloy, ±0.4% copper - AER and AER-G) with integral cooling ribs above the electrical compartment. Minimum wall thickness is .188". Housing attaches to pole via a one piece, extruded aluminum arm with centering guides for internal draw bolts and a gasketed wiring access door. Housing/pole junction is gasketed. All exposed hardware is stainless steel. Internal protected hardware is electro-zinc plated.

**LENS ASSEMBLY**  
One piece cast aluminum lens frame (A356 alloy, ±0.2% copper - AER-A360 alloy, ±0.4% copper - AER and AER-G) with integral stainless steel hinge. Tool-less twist to release latch provides positive locking and sealing of the optical chamber by a one piece silicone gasket with ends fused to form a continuous loop. Clear 3/16" thick tempered glass lens retained by stainless steel clips and sealed with self-leveling silicone bonding and seating adhesive.

**REFLECTOR MODULE**  
Specular Alzak® optical segments rigidly mounted in an aluminum frame, which attaches to the housing as a one piece module. Reflector module is field rotatable in 90° increments. All sockets are porcelain 4KV pulse rated, pin-oriented mogul base (6KV in 1000HPS models). Reflector modules are factory prewired with a quick-disconnect plug.

**ELECTRICAL COMPONENTS**  
All electrical components are UL and cUL recognized mounted on a single plate and factory prewired with quick-disconnect plugs. Electrical module attaches to housing with no-tool hinges and latches, accessible by opening the lens frame. Electronic MH ballasts have power factor of > .90 (70W - 150W), 20F starting, 100-277V or > .90 (250W - 400W), 20F starting, 200-277V, 50Hz/60Hz and have lamp End-of-life protection. 34V option utilizes a step down transformer to the electronic ballast. Special for Philips MasterColor CDM Elite Electronic MH ballast has a power factor of > .90 (210W & 315W), 4F starting, 200-277V, 50Hz/60Hz and has lamp End-of-life protection. All higher wattage (315W - 400W) electronic MH ballasts have 0 - 10V dimming capability. Magnetic MH ballasts are high power factor (70W - 150W/575V) or CWA (250W - 1000W, excluding 275W), 20F starting, multi-tap 120-277V or 480V, 60Hz. All HPS ballasts are cone and coil, high-reactor, high power factor (70W - 150W) or CWA (200W - 100W), 40F starting.

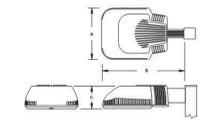
**FINISH**  
Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140° F. Four step iron phosphate pre-treatment for protection and paint adhesion. 400°F bake for maximum hardness and durability.

Light Pollution Control Classification System  
Full width 90° beam luminaire  
U.S. Architectural Lighting  
140 West Sussex Dr. Milwaukee, WI 53214  
Phone: (414) 453-0112 Fax: (414) 453-0112  
www.usalighting.com

PROJECT NAME: \_\_\_\_\_  
FIXTURE TYPE: \_\_\_\_\_



AER PATENT PENDING

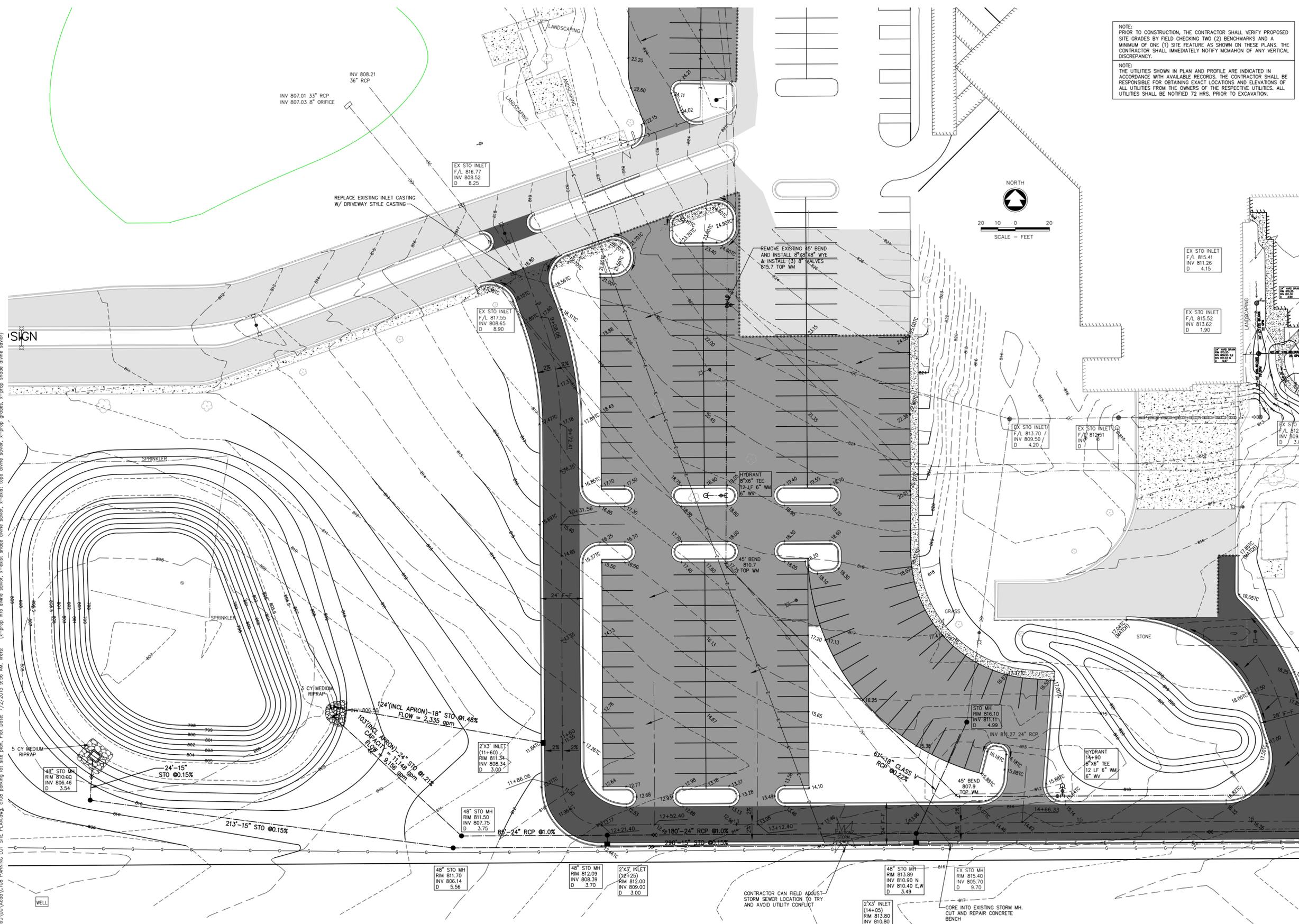


FIXTURE	A	B	C
AER-G	22"	41"	350mm
AER	18"	39"	203mm
AER-M	13.8"	29"	8.6"
	350mm	635mm	165mm

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	1.4 fc	3.1 fc	0.6 fc	5.2:1	2.3:1
Calc Zone #3	+	2.0 fc	7.8 fc	0.6 fc	13.0:1	3.3:1
Calc Zone #4	+	2.6 fc	8.2 fc	0.5 fc	16.4:1	5.2:1
Drive	X	2.0 fc	4.9 fc	0.7 fc	7.0:1	2.9:1

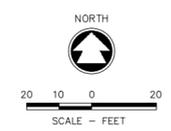
LUMINAIRE SCHEDULE					
Symbol	Label	Catalog Number	Description	Lamp	File
□ ○	P2-3s	AER-III-400PSMH	23" X 18" X 8.5" AEROLUME DIE CAST LUMINAIRE WITH FULL CUTOFF OPTICS; TYPE III HORIZONTAL LAMP SEGMENTED REFLECTOR; 13" SQ. CLEAR FLAT TEMPERED GLASS LENS.	400W ED28 CLR PULSE START METAL HALIDE	AER-3-40P.ies
□ ○ □	P1-4d	AER-IV-400PSMH	23" X 18" X 8.5" AEROLUME DIE CAST LUMINAIRE WITH FULL CUTOFF OPTICS; TYPE IV HORIZONTAL LAMP SEGMENTED REFLECTOR; 13" SQ. CLEAR FLAT TEMPERED GLASS LENS.	400W ED28 CLR PULSE START METAL HALIDE	AER-4-40P.ies

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NOTE:  
PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY VERTICAL DISCREPANCY.

NOTE:  
THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.



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www.mcma.org

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MOB & Rehab Facility  
New Pinery Road  
Portage, WI 53901



Project:

11-07-14	LRR
11-14-14	LRR
11-20-14	LRR
12-02-14	LRR
01-16-15	LRR
03-25-15	CONSTRUCTION BULLETIN #1
07-01-15	LRR

00-00-00	NAME
00-00-00	NAME

Issuance / Revisions:

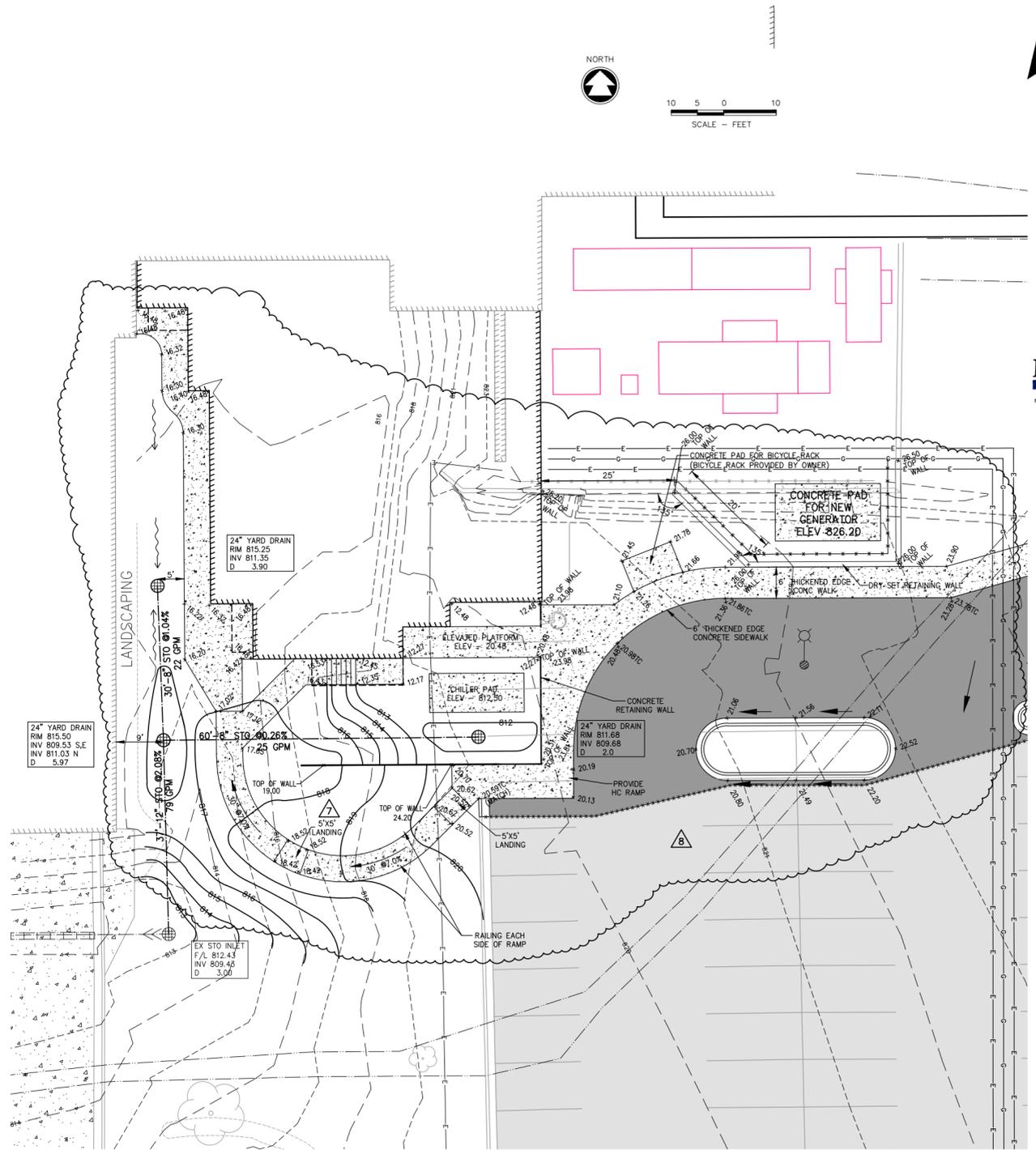
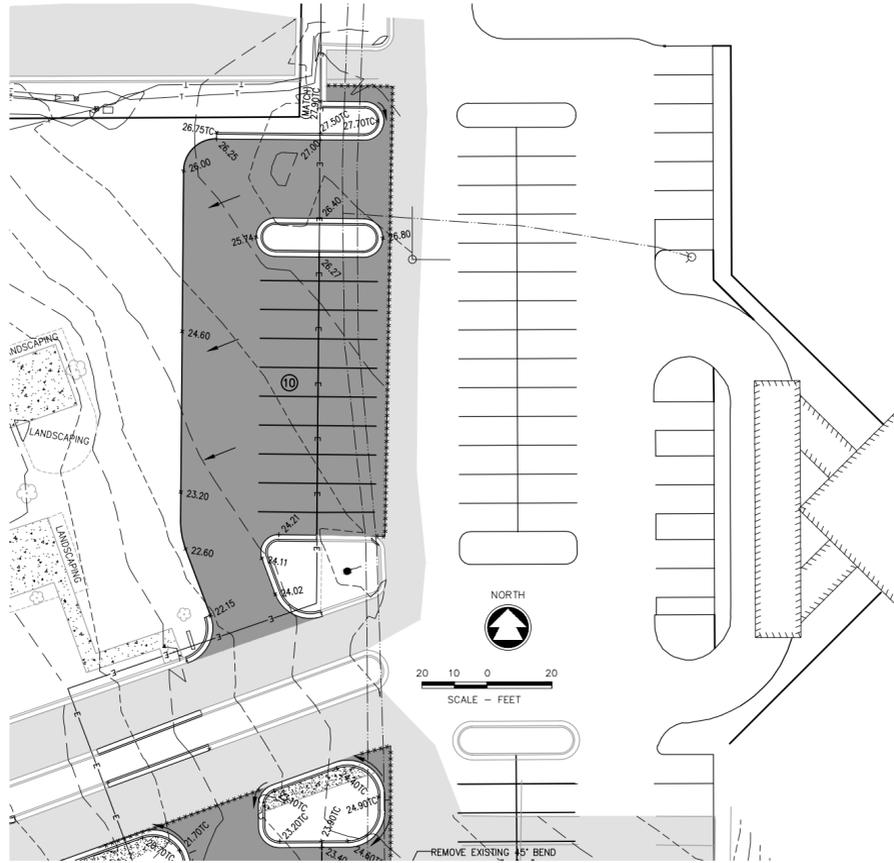
Date & Issued For:  
02/18/15  
Proj. Status  
CONSTRUCTION  
SET

Sheet Name:  
PARKING LOT  
SITE PLAN

Sheet Number:

C108

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New Pinery Road  
Portage, WI 53901



- 11-07-14 LRR
- 11-14-14 LRR
- 11-20-14 LRR
- 12-02-14 LRR
- 02-17-15 LRR
- 03-17-15 LRR
- 03-25-15 CONSTRUCTION BULLETIN #1
- 07-01-15 LRR

00-00-00 NAME  
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Issuance / Revisions:  
Date & Issued For:  
02/18/15  
Proj. Status  
CONSTRUCTION  
SET  
Sheet Name:  
PARKING LOT  
SITE PLAN

Sheet Number:  
**C111**

1 **ARTICLE XI – SIGN REGULATIONS**

2 **Sec. 10-371. - Purpose of sign regulations.**

3 (a) This section establishes regulations for signs and other street graphics **visible from the**  
4 **right-of-way**. More specifically, this section is intended to assist in achieving the following  
5 objectives:

- 6 (1) To foster high quality commercial and industrial development and to enhance the  
7 economic development of existing businesses and industries by promoting reasonable,  
8 orderly and effective signs and street graphics.
- 9 (2) To protect the public from any damage or injury that result from the improper  
10 construction, placement or use of signs and street graphics.
- 11 (3) To protect the public by reducing the obstructions and distractions that might cause  
12 traffic accidents.
- 13 (4) To preserve the value of private property by assuring the compatibility of signs with  
14 nearby land uses.
- 15 (5) To preserve the integrity of the historic downtown area, and distinguish signs from  
16 more contemporary commercial and industrial districts within the city.
- 17 (6) To distinguish signs within highway interchange districts from those in contemporary  
18 commercial and industrial districts within the city.

19 **Sec. 10-372. - Definitions.**

20 The following words, terms, and phrases, when used in this article, shall have the meanings  
21 ascribed to them in this section, except where the context clearly indicates a different meaning:

- 22 (a) Apartment complex sign. An on-premises sign that provides identification for an apartment  
23 complex.
- 24 (b) Awning. A temporary or permanent hood or cover that projects from the wall of the building  
25 that can be retracted, folded, or collapsed against the face of a supporting structure.
- 26 (c) Billboard. A sign that advertises goods, products or facilities or services not necessarily on  
27 the premises where the sign is located or directs persons to a different location from where  
28 the sign is located.
- 29 (d) Blanketing. The unreasonable obstruction of view of a sign caused by the placement of  
30 another sign.
- 31 (e) Canopy (building). A rigid multisided structure covered with fabric, metal or other material  
32 and supported by a building at one or more points or extremities and by columns or posts  
33 embedded in the ground at other points or extremities.
- 34 (f) Canopy (freestanding). A rigid multisided structure covered with fabric, metal or other  
35 material and supported by columns or posts embedded in the ground.

- 36 (g) Community Information Sign. A non-commercial and civic oriented sign that displays  
37 information regarding events and information of general interest to visitors and city  
38 residents.
- 39 (h) Community organization identity sign. A non-commercial sign or logo representing a bona-  
40 fide community, service or civic organization that is community based, service oriented and  
41 non-profit in nature.
- 42 (i) Directional routing sign. Any permanent sign displayed for the purpose of informing people  
43 of or guiding people to a particular place for a specified event. Temporary directional routing  
44 signs include, but are not limited to, an open house, garage sale, estate sale, or other  
45 similar event.
- 46 (j) Directly illuminated sign. Any sign designed to give any artificial light directly through any  
47 transparent or translucent material from a source of light originating within or on such sign.
- 48 (k) Directory sign. Any sign on which the names and locations of occupants or the use of a  
49 building is given. This includes office and church or other place of religious assembly  
50 directories.
- 51 (l) Electronic/variable message unit sign (EVMS). Any sign whose message may be changed  
52 by electronic process, including such messages as copy, art, graphics, time, date,  
53 temperature, weather or information concerning civic, charitable or the advertising of  
54 products or services for sale on the premises. This also includes traveling or segmented  
55 message displays.
- 56 (m) Flashing sign. Any directly or indirectly illuminated sign on which artificial light is not  
57 maintained stationary and constant in intensity and color at all times when in use.
- 58 (n) Ground sign or pole sign. Any sign that is supported by structures or supports in or upon  
59 the ground and independent of support from any building (also referred to as "freestanding  
60 sign").
- 61 (o) Identification sign. Any sign that carries only the name of the firm, major enterprise,  
62 institution, or principal products offered for sale on the premises or combination of these.
- 63 (p) Indirectly illuminated sign. A sign that is illuminated from a source outside of the actual sign.
- 64 (q) **Interchangeable sign. Any sign with components or parts, primarily electronic message in  
65 nature that allows its message to be changed or substituted.**
- 66 (r) Marquee sign. Any sign attached to and made part of a marquee. A marquee is defined as  
67 a permanent roof-like structure projecting beyond a building wall at an entrance to a  
68 building or extending along and projecting beyond the building's wall and generally  
69 designed and constructed to provide protection against weather.
- 70 (s) Memorial sign. A sign or tablet memorializing a person, event, place or structure.
- 71 (t) Nonconforming sign. Any sign that does not conform to the regulations of this article.
- 72 (u) Political sign. Any sign containing a message intended for a political purpose or a message  
73 which pertains to an issue of public policy of possible concern to the electorate, but does  
74 not include a message intended solely for a commercial purpose.
- 75 (v) Portable sign. Any sign not permanently attached to the ground that is designed to be easily  
76 moved from one location to another.
- 77 (w) Premises. A building or structure with its grounds or appurtenances.
- 78 (x) Projecting sign. Any sign extending more than 18 inches, but less than five feet, from the  
79 face of a wall or building.

- 80 (y) Real estate sign. Any sign that are used to offer for sale, lease, or rent the property upon  
81 which the sign is placed.
- 82 (z) Roof sign, general. Any sign erected upon or over the roof or parapet of any building.
- 83 (aa) Roof sign, integral. Any sign erected or constructed as an integral or essentially integral  
84 part of a normal roof structure of any design, such that no part of the sign extends vertically  
85 above the highest portion of the roof and such that no part of the sign is separated from the  
86 rest of the roof by a space of more than six inches. Any integral portion of the roof shall not  
87 extend more than five feet above the structural roof.
- 88 (bb) Sign. Includes anything that promotes, calls attention to or invites patronage, or anything  
89 similar, to a business, location, or product.
- 90 (cc) Temporary sign. Any sign intended to be displayed for a short period of time, including real  
91 estate or construction site signs, and banners, decorative-type displays, or anything similar  
92 to such, but not including political signs.
- 93 (dd) Wall sign. Any sign attached to, erected on, or painted on the wall of a building or structure  
94 and projecting not more than 18 inches from such wall.
- 95 (ee) Window sign. Any sign located completely within an enclosed building and visible from a  
96 public way.
- 97 (ff) Mural. A painted or other work of art painted directly on a building wall, foundation, or other  
98 outside edifice.
- 99 (gg) Abandoned Sign. A sign identifying or advertising a place of business that has relocated,  
100 ceased to operate or changed its name that has not been displayed at least 60 days from  
101 the date of non-compliance.

102 **Sec. 10-373. - General provisions.**

- 103 (a) Interior signs. This chapter does not apply to any sign that is visible only from the premises  
104 upon which it is erected, such as on the walls of courts or malls in shopping centers.
- 105 (b) Prohibited signs. The following signs shall be prohibited in any district except as noted  
106 herein elsewhere in this chapter.
- 107 (1) Balloons, beacons, pennants, streamers, statuary and similar signs. No balloons,  
108 beacons, pennants, streamers, statuary or similar signs are allowed except as approved  
109 by the zoning administrator as a special event sign in conjunction with a special event  
110 permit.
- 111 (2) Flashing signs. No flashing signs shall be allowed except as exempt holiday decorations  
112 and displays.
- 113 (3) Moving signs. Except for electronic/variable message signs, no fluttering, undulating,  
114 swinging, rotating, or otherwise moving signs, lights or decorations, shall be permitted  
115 except as special event signs.
- 116 (4) Off-premises signs including billboards. No off-premises advertising signs shall be  
117 permitted except as otherwise permitted under this section.

- 118 (5) Off-premises directional routing signs. No permanent directional routing signs located  
119 off-premises shall be permitted unless erected by a government agency or  
120 nonresidential institutional land use.
- 121 (6) Projecting signs. Projecting signs shall be prohibited except in the historic downtown  
122 sign overlay district.
- 123 (7) Right-of-way signs and signs on public property. No sign unless erected by, or required  
124 by, a government agency or temporarily erected to protect the health and safety of the  
125 general public such as emergency or warning signs shall be located within or across any  
126 public right-of-way, or on any public property or utility pole, unless a conditional use  
127 permit has first been approved by the common council upon recommendation from the  
128 plan commission. This applies to all signs including temporary signs and signs which do  
129 not require a permit.
- 130 (8) Roof signs. Roof signs are not permitted, with the exception of integral roof signs (see  
131 definitions).
- 132 (9) Traffic imitating or interfering devices or signs. No sign shall be erected or maintained at  
133 any location where by reason of its position, wording, illumination, size, shape, or color it  
134 may obstruct, impair, obscure the vision of motorists, or otherwise obstruct, interfere with  
135 the view of, or be confused with, any authorized traffic control sign, signal or device. No  
136 sign shall use any word, phrase, symbol, shape, form, or character in such manner as to  
137 interfere with moving traffic, including signs which incorporate typical street-type and/or  
138 traffic control-type signage designs and colors.

139 **Sec. 10-374. - Special provisions.**

- 140 (a) Sign overlay districts, generally. Sign overlay districts have been identified to distinguish  
141 signs within historic downtown and highway interchange districts from those in contemporary  
142 commercial and industrial districts within the city. Sign overlay districts are hereby  
143 established as follows:
- 144 (1) Historic downtown sign overlay district. The historic downtown sign overlay district shall  
145 consist of the properties as identified in the city zoning map as Downtown Business.
- 146 (2) Highway interchange sign overlay district. The highway interchange sign overlay district  
147 shall consist of the properties as identified in the city zoning map as Interchange  
148 Business.
- 149 (b) Other districts, generally. Signage for all other districts within the city shall be regulated  
150 upon the terms of this ordinance.

151 **Sec. 10-375. - General sign regulations.**

- 152 (a) General district regulations. Signs within all districts (except historic downtown sign overlay  
153 district) shall be regulated as follows:

- 154 (1) Signs in residential districts.
- 155 (i) General. No signs shall be permitted on property in a residential zoning district  
156 except signs of a type and style under section 10-375 which are typically associated  
157 with residential uses, signs permitted under subsection 10-375(6), and neighborhood  
158 watch or similar signs as designated by the common council.
- 159 (ii) Exception for institutional uses. Signs advertising institutional land uses are allowed  
160 in residential districts and are regulated under the provisions of this section, as  
161 applicable. Applications for institutional use signs in residential districts that exceed  
162 24 square feet may be permitted under a conditional use process as per sections 90-  
163 472.
- 164 (iii) Indoor sign usage. Indoor civic, cultural or institutional use signs may be permitted  
165 under a conditional use permit as per section 90-472 provides, however, that no  
166 conditional use permit shall permit such a sign which exceeds 60 square feet in area  
167 or eight feet in height.
- 168 (iv) Subdivision signs. Subdivision signs are limited to two signs per entrance to the  
169 development with a total not exceeding 32 square feet per sign and five feet in  
170 height. Subdivision signs are permitted only in subdivisions of ten or more lots or for  
171 multifamily developments with eight or more dwelling units in a single building.
- 172 (v) Real Estate/For Sale signs. Signs advertising a lot(s) for sale/lease that are 16  
173 square feet or less do not require a sign permit if the sign only indicates the lot  
174 number, telephone number, address or name/logo of real estate agent/owner  
175 involved with the listing of the lot(s).
- 176 (vi) Other sign limits. No other signs in a residential district, may be larger than 12  
177 square feet or higher than eight feet in height. This includes temporary signs and  
178 signs that do not require a permit under section 10-378 unless sign limits are  
179 otherwise defined in that section.
- 180 (2) Signs adjacent to residential district. No commercial signs shall be permitted within 75  
181 feet of any resident district boundary line unless completely screened from the resident  
182 district by a building, solid fence, or an evergreen planting. Evergreen plantings shall be  
183 not more than two feet shorter than the height of the sign at the time of planting and  
184 spaced so as to affect an opaque screen of the sign. All required screening shall be  
185 continuously maintained.
- 186 (3) Commercial message location. A sign which displays a commercial message is  
187 permitted only on the premises where the commercial activity represented on a sign is  
188 located. Electronic/variable message signs which can be programmed to change  
189 periodically shall not be located within 75 feet of a residential district. **Electronic/variable  
190 message boards can be located less than 75 feet for a residential district boundary line if  
191 screened from the resident district by a building, solid fence, or an evergreen planting.  
192 Evergreen plantings shall be not more than two feet shorter than the height of the sign at**

193 the time of planting and spaced so as to affect an opaque screen of the sign. All required  
194 screening shall be continuously maintained.

195 (4) Interchangeable noncommercial messages. Any sign that may display one type of  
196 noncommercial message may also display any other type of noncommercial message,  
197 so long as the sign complies with the other requirements of this section.

198 (5) Signs over show windows or doors of a nonconforming business establishment  
199 announcing, without display or elaboration, only the name and occupation of the  
200 proprietor and not exceeding two feet in height and ten feet in length are permitted.

201 (6) Common sign design: Multitenant buildings, multi-building developments and group  
202 developments. All buildings containing two or more tenants, or complexes containing two  
203 or more buildings, or two or more abutting lots within land divisions desiring group  
204 signage, shall install all signs according to a common sign design plan approved by the  
205 plan commission. An exception to this requirement is provided to businesses that  
206 provide distinctly different services or sales in one general business location.

207 (i) Common sign. A common sign shall mean a sign that is intended to display multiple  
208 (group signage) advertisements, identifications, or products, where ownership,  
209 occupancy or use of the facility(s) is distinctly separate but in close proximity and  
210 similar in character to the area. For land divisions or common parcel signage, group  
211 signs shall only occur on two or more abutting lots.

212 (ii) Procedure. All new developments shall submit a common sign design plan prior to  
213 issuance of the first sign permit. All existing developments shall submit a common  
214 sign design plan concurrently with any new requests for a sign permit by a tenant or  
215 the owner. The plan shall be submitted to the building inspector for initial  
216 determination of completeness. The building inspector shall forward the plan to the  
217 zoning administrator for plan commission review and consideration.

218 (iii) Plan, contents. A common sign design plan shall contain detailed requirements for  
219 the lettering, illumination, colors, materials, timing, location, type and configuration to  
220 be used within the development. The plan commission may request additional  
221 documentation relevant to the review of the common sign plan, including but not  
222 limited to ownership, implementation, enforcement and maintenance provisions.

223 (iv) Decision. The plan commission may recommend to the council that a common sign  
224 design plan may be denied, approved or approved with conditions by the plan  
225 commission. If conditionally approved, the conditions shall be clearly stated on the  
226 sign permit.

227 (v) Implementation. After approval of the common sign design plan by the plan  
228 commission as to its conformance with this chapter, all signs shall be installed in  
229 accordance with the approved common sign design plan.

230 (b) General sign area limitation.

- 231 (1) Lot Frontage 200 feet or less. For properties with equal to or less than 200 linear feet of  
232 frontage along a public street(s), maximum sign surface area shall be equivalent to 100  
233 square feet plus 0.5 square feet of signage per linear foot of property frontage.
- 234 (2) Lot Frontage greater than 200 feet. For properties greater than 200 feet of frontage  
235 along a public street(s), maximum sign surface area shall be equivalent to 100 square  
236 feet plus 0.75 square feet of area per linear foot of property frontage.
- 237 (3) Total signage limitation. The total signage for each street frontage shall not exceed 500  
238 square feet for a premise. The sign surface area oriented toward a particular street may  
239 not exceed the premises' total sign surface area allocation that is derived from frontage  
240 on that street.
- 241 (4) Total signage exclusions. Temporary signs and signs that do not require a permit under  
242 section 10-379 are not included in total signage.
- 243 (5) Unified business center signs. Unified business center signs are not included in total  
244 signage.
- 245 (c) Surface area calculation. The sign surface area shall be calculated only on the basis of the  
246 sign face(s) that can be viewed by one viewer at one time. On a multiple-sided sign with  
247 opposite faces that cannot be read simultaneously, only one of the faces shall be calculated  
248 for purposes of determining sign surface area (wall signs are not considered multiple-sided  
249 signs). Sign area for all individual letter wall signs shall be the area of the smallest rectangle  
250 which can encompass all words, letters, figures, emblems, and other elements of the sign  
251 message.
- 252 (d) Sign illumination. All illuminated signs shall be subject to the following requirements:
- 253 (1) Electrical permit. All signs in which electrical wiring and connections are to be used shall  
254 comply with all applicable provisions of the state electrical code. No permit for the  
255 erection of a sign shall be granted prior to approval and issuance of a valid electrical  
256 permit for that sign.
- 257 (2) Voltage displayed. The **current, wattage, VA, and voltage** of any electrical apparatus  
258 used in conjunction with a sign shall be conspicuously noted on that apparatus.
- 259 (3) External illumination. A building or structure, along with signs, awnings and canopies  
260 attached to the building or structure, may be illuminated externally, provided that the light  
261 source is designed, located, shielded, and maintained in such a manner that it is fixed  
262 and not directly visible from any adjacent public rights-of-way or surrounding premises.
- 263 (4) Internal illumination. Internal illuminated signs shall permit light to shine fully through only  
264 the lettering and graphic elements of the sign. The background for such lettering and  
265 graphics shall be opaque or translucent and shall transmit light at a level substantially  
266 less than that transmitted through the lettering and graphics. If the contrast between the  
267 lettering or graphic elements and background does not permit adequate legibility, a

268 translucent white border of up to one inch in width may be placed around said lettering  
269 or graphic elements.

270 (5) Brightness limitation. In no instance shall the lighting intensity of any illuminated sign  
271 exceed:

272 (i) Seventy-five foot-candles measured perpendicular to the face of the sign from a  
273 distance equal to the narrowest length or height of the sign, or

274 (ii) When the sign is located in a residential zoning district, 50 foot-candles measured  
275 perpendicular to the face of the sign from a distance equal to the narrowest length or  
276 height of the sign, or

277 (iii) One foot-candle on adjoining residential property, measured three feet above the  
278 surface of the ground.

279 (6) Glare. All artificial illumination shall be so designed, located, shielded and directed so as  
280 to prevent the casting of glare or direct light upon adjacent public right-of-way or  
281 surrounding property.

282 (7) Flashing signs. Except for electronic/variable message signs (EVMS), illuminated signs  
283 shall not have any flashing, scintillating, traveling or blinking lights or rotating beacons,  
284 nor shall any beam of light be projected through a mechanism which periodically  
285 changes the color of the light reaching the sign.

286 (8) Gooseneck and similar reflectors and lights shall be permitted on freestanding and wall  
287 signs; provided, however, the reflectors and lights shall concentrate the illumination upon  
288 the area of the sign so as to prevent glare upon the street or adjacent property. It shall  
289 be unlawful to maintain any sign which extends over public property, and which is wholly  
290 or partially illuminated by floodlights or spotlights, unless such lights are completely  
291 concealed from view from the public right-of-way.

292 (e) Installation. All signs shall be properly secured, supported and braced and shall be kept in  
293 reasonable structural condition and shall be kept clean and well painted at all times. Bolts  
294 and screws shall not be fastened to window frames. Every sign and its framework, braces,  
295 anchors and other supports shall be constructed of such material and with such  
296 workmanship as to be safe.

297 (f) Wind pressure and dead-load requirements. All signs and other advertising structures shall  
298 be designed and constructed to support the loads imposed, based on the applicable current  
299 Wisconsin Commercial Building Code, including all references and appendices. In the case  
300 of conflicting requirements between this ordinance and applicable code, the more restrictive  
301 shall apply. The city understands certain signage may be necessary to be installed near  
302 property lines. For signs located within setback areas in proximity to property lines, such  
303 signs shall be designed with an additional 50 percent wind load, to ultimately reduce the  
304 chance of structural failure and improve the longevity of such signs near public ways of

305 travel, and to ultimately protect the health, safety and general welfare of the city.  
306 Engineering calculations will be provided by the contractor/owner upon request.

307 (g) Construction. The base or support(s) of any and all freestanding signs shall be securely  
308 anchored to an appropriately designed concrete base or footing which has a minimum depth  
309 or thickness of one foot. The electrical component of any illuminated sign or street graphic  
310 shall conform to the applicable requirements of the electrical code.

311 (h) Structural requirements. Every sign or street graphic shall be designed and constructed in  
312 conformity with the applicable provisions of the building code and shall be free of any  
313 exposed extra bracing, angle iron, guywire, or cables.

314 (i) Maintenance. All signs, including nonconforming signs, shall be maintained in a like-new  
315 condition. Any signs which may be, or may hereafter become rotted, unsafe, or in a state  
316 which is not properly maintained shall be repaired or removed by the licensee or owner of  
317 the sign, or owner of the property upon which the sign stands upon notice of the zoning  
318 administrator.

#### 319 **Sec. 10-376 Miscellaneous Signs**

320 (a) Flags. In addition to the three flagpoles permitted per lot, one additional flagpole for every  
321 200 feet of street frontage may be permitted per the approval of the zoning administrator  
322 upon verification of lot frontage. **Flags shall be displayed following etiquette in the United**  
323 **States flag code (4 U.S.C.1).**

324 (b) A-Frame or sandwich board signs. One A-frame or sandwich board type sign, **6 square feet**  
325 **in surface area per side or smaller**, is allowed per business establishment provided it does  
326 not block the public right-of-way or pose a safety hazard. Such signs **do not** require a permit  
327 under the guidelines of section 10-378.

328 (c) Placement within or on a frame. All signs designed for a pre-existing structure or frame shall  
329 be designed to fit the frame or structure as though it were the original sign. Any portion of  
330 any sign or unused remaining frame or structure shall be subject to removal under the  
331 conditions for abandoned signs.

332 (d) Additions to existing signs. No sign over four square feet in area may be attached to another  
333 sign without being designed as an integral part of the original sign. No signs may be  
334 attached to, or cover up, any portion of a sign's frame, structure or base unless originally  
335 designed or subsequently redesigned for that propose.

336 (e) Specific sign regulations. Sign regulations are further identified per type of sign, such as wall  
337 signs, freestanding signs, permanent window signs, EVMS signs, marquee signs, canopy  
338 and awning signs, temporary signs/banners, unified business center signs,  
339 information/directory signs, and community information signs.

340 (f) Wall signs.

341 (1) Area, generally. No individual wall sign shall exceed 200 square feet in area.

342 (2) Area per façade. Except as provided in subparagraph (3) and (4), the total permitted  
343 sign surface area of all wall signs on a façade shall not exceed 15 percent of the eligible  
344 façade area. Eligible façade area shall be the total building façade area on sides facing a  
345 public street.

346 (3) Area per façade bonus. The permitted sign surface area for wall signs on a façade  
347 determined by subparagraph (1) may be increased by 20 percent when all of the  
348 following standards are met:

349 (i) The occupant is displaying no more than one wall sign on the façade,

350 (ii) The sign consists only of individual alphabetic, numeric and/or symbolic characters  
351 without background except that provided by the building surface to which the signs  
352 are to be affixed, and

353 (iii) The sign is not illuminated other than through internal illumination, shielded  
354 silhouette lighting or shielded spot lighting, where the light source is neither visible  
355 nor exposed.

356 (4) Multiple wall signs. Where more than one wall sign is mounted on a building, the total  
357 permitted sign surface area for wall signs under subparagraph (1) shall be reduced by  
358 an increment of 20 percent for each additional wall sign. The 20 percent increment shall  
359 be calculated based on the total permitted sign area as reduced by previous incremental  
360 reductions.

361 (5) Location, generally. Wall signs shall be mounted parallel to a building, wall, and only on  
362 a portion of an exterior wall that is coterminous with the occupancy to which the signs  
363 refer. No wall sign shall extend above or beyond the wall to which it is attached.

364 (6) Height, projection. Wall signs, including any illuminating device or structural component,  
365 located at a height of at least ten feet, shall not project more than 36 inches beyond the  
366 plane of the wall to which it is attached. Signs located at a height less than ten feet shall  
367 not project more than 12 inches beyond the plane of the wall to which it is attached.

368 (7) Installation requirements. No wall sign shall cover or interrupt significant architectural  
369 elements such as columns, column caps, friezes, door or window heads,  
370 embellishments, adornments, fenestration, or ornamental detailing on any building. All  
371 mounting brackets and other hardware used to affix a sign to a wall, and all electrical  
372 service hardware and equipment shall be concealed by architectural elements of the  
373 building or the sign itself.

374 (g) Freestanding signs.

375 (1) Number. There shall be no more than one freestanding sign for each street on which the  
376 property has frontage. No single business shall be allowed signage on both an individual  
377 freestanding sign and freestanding unified business center sign on the same street  
378 frontage, except that the city may grant a conditional use permit allowing such additional

379 sign. On premises having no principal building, there shall be no more than one  
380 freestanding sign for the premises.

381 (2) Setback. In general, freestanding signs shall be placed with consideration for visibility,  
382 access, maintenance and safety. Such signs shall be located, whenever possible,  
383 beyond setback areas or areas setback from the property lines by at least the height of  
384 the sign. If a sign is proposed to be located within the above-referenced areas to any  
385 right-of-way, public sidewalk or other adjacent property line an additional design loading  
386 shall be imposed as provided in subsection 10-375. In no case shall any sign impede  
387 vision for traffic or be located within vision triangles. In no case shall any part of a sign  
388 be constructed within three feet from any property line.

389 (3) Surface area, large. Except as provided in subparagraph (2) the total sign surface area  
390 of a freestanding sign shall not exceed one quarter percent of the lot area of the  
391 premises, nor a maximum of 120 square feet of sign surface area.

392 (4) Surface area, small. The maximum sign surface area of a freestanding sign oriented  
393 toward any street may not exceed 12 square feet unless the property has 100 or more  
394 feet of frontage on that street.

395 (5) Surface area, bonus. The maximum sign surface area shall be increased by 15 percent  
396 for any freestanding sign which is the only freestanding sign on a premise on which  
397 more than one such sign would otherwise be permitted.

398 (6) Location, lot line. No freestanding sign shall extend beyond the lot line of a premise.

399 (7) Location, access. No freestanding sign shall extend into or within 20 feet of any  
400 circulation lane which provides access to a public right-of-way.

401 (8) Height. The top of a freestanding sign shall not, in any case, exceed the maximum  
402 elevation of a principal building on the premises to which it pertains. The height of a sign  
403 shall be measured from the ground level at its base or the elevation of the street upon  
404 which the sign faces, whichever is lower, to the tallest portion of the sign. All  
405 freestanding signs shall be a maximum height of 18 feet above ground level measured  
406 to its highest point. If the centerline of the nearest public street is higher than ground  
407 level, height of the sign shall be measured from the centerline of the roadway.

408 (9) Installation requirements. All freestanding signs shall be permanently mounted in the  
409 ground.

410 (h) Permanent window signs.

411 (1) Area. The sign surface area of the permanent window signs in any window shall not  
412 exceed 20 percent of that window area.

413 (2) Location. Permanent window signs shall be confined within the transparent glazed area  
414 of the window and shall not encroach upon the frame, mullions, or other supporting  
415 features of the glass.

416 (3) Installation requirements. All permanent window signs which have their lettering or  
417 graphic elements directly on the glazing shall be painted, metal leafed, vinyl transferred,  
418 or in some other manner permanently applied to either side of the glass of an exterior  
419 building window or door. No application using a temporary adhesive shall be permitted  
420 unless the zoning administrator determines the application to be reasonably safe.

421 (i) Electronic/variable message (EVMS) signs.

422 (1) Length of cycle. The total length of the information cycle of an EVMS shall not be shorter  
423 than the three seconds or longer than ten seconds. Items of information may not be  
424 repeated at intervals that are short enough to cause the EVMS to have the effect of a  
425 flashing sign. Traveling messages may travel no slower than 16 light columns per  
426 second and no faster than 32 columns per second.

427 (2) Brightness adjustment. EVMS shall be equipped with photosensitive equipment which  
428 automatically adjusts the brightness and contrast of the sign in direct relation to the  
429 ambient outdoor illumination.

430 (3) Included area. The illuminated or message displaying areas of the EVMS shall be  
431 included within the maximum aggregate sign surface area for the premises.

432 (4) Maintenance. Any EVMS shall be maintained so as to be able to display messages in a  
433 complete and legible manner.

434 (j) Marquee signs.

435 (1) Number. There shall not be more than one marquee sign on any façade. Advertising and  
436 identification messages on any of the vertical or nearly vertical faces of a marquee are  
437 calculated as a single marquee sign.

438 (2) Area. The total sign surface area of a marquee sign shall not exceed 500 square feet.

439 (3) Location. A sign may be affixed to or located upon any vertical or nearly vertical face of a  
440 marquee, so that no portion of the sign falls above or below the face of the marquee. In  
441 no instance shall a marquee sign be located so that it extends beyond the curb line of  
442 the street.

443 (4) Height. In no instance shall a marquee sign be lower than ten feet above the sidewalk,  
444 or public [street, road, walkway, or path](#).

445 (5) Use of marquee. Marquee signs are permitted only on theaters, places of entertainment  
446 and hotels.

447 (k) Canopy and awning signs.

448 (1) Area. The sign surface area of a canopy or awning sign shall not exceed 15 percent of  
449 the area of the vertical section of the canopies and awnings. The area of the vertical  
450 section of the canopies and awnings is calculated as the height of the canopy or awning

451 (difference between the highest and lowest point on the canopy or awning) multiplied by  
452 the length of the canopy or awning measured parallel to the façade upon which it is  
453 attached.

454 (2) Location.

455 (i) Canopies and awnings shall be constructed and erected so that the lowest portion of  
456 the projecting frame thereof shall be not less than seven feet six inches, and the  
457 lowest portion of the descending skirt shall be not less than six feet eight inches  
458 above the level of the sidewalk or public thoroughfare.

459 (ii) No portion of the canopy or awning sign shall extend above or beyond the canopy or  
460 awning upon which it is attached, however, signs may be hung beneath canopies  
461 parallel to the building frontage so long as they do not descend below the six foot-  
462 eight inch minimum clearance.

463 (iii) Awnings shall not project more than 36 inches out from the building upon which they  
464 are attached, nor extend out from the building beyond the extension of awnings on  
465 adjoining buildings.

466 (3) Installation requirements. To preserve the architectural integrity of a building, no canopy  
467 or awning, and no canopy or awning sign shall cover or interrupt significant architectural  
468 elements such as columns, column caps, friezes, door or window heads,  
469 embellishments, adornments, fenestrations or ornamental detailing.

470 (4) Illumination of awnings and canopies. Awnings and canopies may be illuminated where  
471 the following conditions are maintained:

472 (i) Both interior type strip lighting and exterior type goose neck lighting is permitted, not  
473 exceeding a maximum light level of 18 foot-candles measured three feet from the  
474 perpendicular to the light source.

475 (ii) The bottom of any illuminated awning or canopy shall be enclosed.

476 (iii) The provisions of subsection 10-375(d) are satisfied.

477 (5) Materials. Canopy and awning signs shall be made of either the material with which the  
478 canopy or awning is covered or other water proof materials affixed flush to the face of  
479 the canopy or awning, or be painted directly on the awning or canopy material with  
480 weather-resistant paint.

481 (l) Temporary signs/banners.

482 (1) Number. There shall not be more than two temporary signs/banners displayed on  
483 premises at any time.

484 (2) Area. Temporary signs/banners shall not exceed 32 square feet in sign/banner surface  
485 area for each exposed face, nor 64 square feet total sign/banner surface area.

- 486 (3) Location. Temporary signs/banners shall be located only upon the premises to which the  
487 special, unique, or limited activity, service product, or sale is to occur. Temporary  
488 signs/banners shall be either wall signs/banners or freestanding signs/banners and shall  
489 conform to the location requirements of this chapter. ~~No temporary signs/banners shall~~  
490 ~~be permitted on vehicles.~~
- 491 (4) Time limitations. Temporary signs/banners shall be erected and maintained for a period  
492 not to exceed 30 days, and shall be removed within three days of termination of the  
493 activity, service, project, or sale.
- 494 (5) Installation requirements. All temporary signs/banners shall be anchored and supported  
495 in a manner which reasonably prevents the possibility of the signs/banners becoming  
496 hazards to the public health and safety as determined by the zoning administrator.
- 497 (6) Certain temporary signs/banners exempt. This paragraph shall not apply to temporary  
498 window signs governed by subsection 10-376(h).
- 499 (m) Unified business center signs. In addition to the signs permitted for each separate occupant,  
500 there may be one identification sign for a unified business center. The permitted sign  
501 surface area of said sign shall not exceed one tenth of one percent of the lot area of the  
502 premises nor a maximum of 120 square feet. Said identification sign shall conform to all of  
503 the regulations (except those governing number and area) for individual sign types found  
504 elsewhere in this section. As used in this paragraph, "unified business center" shall mean a  
505 single building or group of architecturally similar buildings on adjacent lots under common  
506 ownership, having multiple occupants engaging in unrelated businesses and sharing a  
507 common parking area.
- 508 (n) Directional and information signs. On-premise directional and informational signs may be  
509 placed on private property near driveway entrances (outside of vision triangles), at building  
510 entrances, and in parking lots and loading areas where necessary for legitimate directional  
511 purposes. The city recognizes that medical campus facilities, schools, correctional  
512 facilities/jails, emergency service providers, convention centers and shopping malls are  
513 likely to require additional directional/informational signage and such signage shall be  
514 considered exempt from the total signage calculation of the facility, if the signage is within  
515 the limitations of this subsection including the following provisions:
- 516 (1) Such signage does not serve an additional advertising purpose, as determined by the  
517 zoning administrator.
- 518 (2) Per sign square footage shall not exceed nine square feet in area, for on premise signs.
- 519 (3) Logos shall not exceed two square feet in area per sign.
- 520 (4) Sign height does not exceed five feet.
- 521 (5) ~~Per sign square footage shall not exceed four square feet in area, for off premise signs.~~
- 522 (6) ~~Off premise signs shall be permitted on private property only.~~
- 523
- 524 (o) Community information signs. Community information signs are regulated as follows:

525 (1) Such sign shall be permitted as a conditional use within all zoning districts. The  
526 proposed size, configuration, and design of the sign shall be described as part of the  
527 conditional use requirements. As a conditional use, the city may revoke the designation  
528 of an approved community information sign if such sign fails to comply with the  
529 requirements of this chapter. Upon revocation, the owner of such sign shall have 30  
530 days to remove the sign at the owner's expense.

531 (2) Such sign shall only display information regarding events and information of general  
532 interest to the residents of Portage. Copy which may be considered as advertising a  
533 product, private or restricted participation event, or activity for private profit shall be  
534 prohibited.

535 (3) Such sign may be located on private or public property. If located on public property the  
536 approval of the Plan Commission is required.

537 (4) Such sign shall not be counted as adding to the area of signage on the subject property.

538 (5) Such signs, including banners, logos and posters shall be allowed to displayed by  
539 community groups on private property without a conditional use permit or fee subject to:

540 a. Size limitations – Total square footage of sign shall not exceed 40

541 b. Setback requirements. Shall comply with all setback requirements

542 c. A maximum display period of 30 days

543

544 (p) Community Organization Identification Signs. Non-commercial and civic-oriented signs or  
545 logos, sponsored by a bona-fide community or civic organization, shall be permitted on no  
546 more than 5 City or public owned properties that serve as entrance ways to the city, with a  
547 conditional use permit in all zoning districts subject to:

548 a. Size limitations. Each organization sign or logo shall be limited to a maximum area of 4  
549 square feet

550 b. Exact location and design of the sign and logo shall require approval of the Plan  
551 Commission as part of the conditional use requirements.

552 c. City reserves the right to cover, relocate, or remove any sign or logo for maintenance,  
553 construction, or when deemed to be in the best interest of the public.

554 d. Entranceway Locations include the properties where the 5 City of Portage entrance  
555 signs are located including: Highway 51 - New Pinery Road; Highway 16 - West  
556 Wisconsin Street; Highway 16/51 - East Wisconsin Street; Highway 33 North  
557 entranceway; and Highway 33 South entranceway. Signs shall not be located in any  
558 area of the city other than the 5 city entranceways areas.

559 **Sec. 10-377. - District regulations.**

560 (a) Signs in all Districts of the City of Portage, excluding signs in sign overlay districts as  
561 defined herein, shall meet the full requirements of this ordinance.

562 (b) Historic downtown sign overlay district. Signs in the historic downtown sign overlay district,  
563 as designated in the city zoning map as B-2 Downtown Business section 90-34, shall be  
564 limited to the following and shall be exempt from the requirements of section 10-375.

565 (1) Wall signs. Wall signs placed against the exterior wall of a building shall not extend more  
566 than six inches beyond a building wall's surface, shall not exceed 500 square feet in  
567 area for any one premise, and shall not exceed 25 feet in height above the mean  
568 centerline street grade.

569 (2) Projecting signs. Projecting signs fastened to, suspended from or supported by  
570 structures shall not exceed 100 square feet in area for any premises, extend more than  
571 six feet into any required yard, extend more than eight inches into any right-of-way, and  
572 shall not be less than ten feet above the mean centerline street grade and 15 feet above  
573 a driveway or alley.

574 (3) Ground signs. Ground signs shall not exceed 20 feet in height above the mean  
575 centerline street grade, shall meet all yard requirements for the district in which they are  
576 located, and shall not exceed 150 square feet on all sides for any premises. However,  
577 signs may extend up to 30 feet in height if they are at least 150 feet away from the  
578 centerline of the nearest point of the closest state-controlled access throughway  
579 (bypass).

580 (4) Roof signs. Roof signs shall not exceed ten feet in height above the roof, shall meet all  
581 yard and height requirements for the district in which they are located, and shall not  
582 exceed 300 square feet on all sides for any one premise.

583 (5) Combination of signs. Sign combinations shall meet all the requirements for the  
584 individual signs.

585 (c) Interchange Business Overlay District. Signs in the Business Interchange Overlay district, as  
586 designated in the city zoning map as B3-Interchange Business section 90-35, shall meet the  
587 requirements of section 10-375, unless otherwise provided in this subsection.

588 (1) Exemption from certain provisions of section 10-375 Signs within the highway  
589 interchange sign overlay district shall be exempt from the corresponding provisions of  
590 section 10-375.

591 (a)[Subsection] 10-375(a)(2), Signs adjacent to residential districts.

592 (b)[Subsection] 10-375(b), General sign area limitation.

593 (c)[Subsection] 10-376(g)(8), Specific sign regulations (Freestanding signs—Height).

594 Special sign regulations for exemptions in subsection 10-376(i) (as referenced above).

595 (2) Signs adjacent to residential districts. No commercial signs shall be permitted within 500  
596 feet of any resident district boundary line unless completely screened from the resident  
597 district by a building, solid fence, or an evergreen planting. Evergreen plantings shall be

598 not more than two feet shorter than the height of the sign at the time of planting and  
599 spaced so as to affect an opaque screen of the sign. All required screening shall be  
600 continuously maintained.

601 (3) General sign area limitation.

602 (i) Frontage 200 feet. For properties with equal to or less than 200 linear feet of  
603 frontage along a public street(s), maximum sign surface area shall be equivalent to  
604 500 square feet plus 0.5 square feet of signage per linear foot of property frontage.  
605 Commercial signs, within 500 feet of any resident district boundary line, for  
606 properties with equal or less than 200 linear feet of frontage along a public street(s),  
607 maximum sign surface area shall be equivalent to 300 square feet plus 0.5 square  
608 feet of area per linear foot of property frontage.

609 (ii) Frontage 200 feet. For properties greater than 200 feet of frontage along a public  
610 street(s), maximum sign surface area shall be equivalent to 500 square feet plus  
611 0.75 square feet of area per linear foot of property frontage. Commercial signs,  
612 within 500 feet of any residential district boundary line, for properties greater than  
613 200 feet of frontage along a public street (s), maximum area shall be equivalent to  
614 300 square feet plus 0.75 square feet of area per linear foot of signage per linear foot  
615 of property frontage.

616 (iii) Total signage limitation. The total signage for each premise shall not exceed 1,200  
617 square feet of total sign area.

618 (iv) Total signage exclusions. Temporary signs and signs that do not require a permit  
619 under section 10-375 are not included in total signage.

620 (v) Unified business center signs. Unified business center signs as permitted under  
621 subsection 10-376(m) are not included in total signage.

622 (4) Specific sign regulations freestanding signs.

623 (i) Height. Freestanding signs located in the highway interchange sign overlay district  
624 may be erected up to a maximum height of 35 feet above the centerline of the  
625 roadway to which the sign is oriented, or 35 feet above the grade on the site in which  
626 the sign is located, whichever is higher. A particular sign need not be oriented toward  
627 the frontage(s) of premises. The elevation of the centerline shall be taken at a point  
628 that is perpendicular from the center of the sign base location to the centerline of the  
629 highway. Such information shall be provided by a registered land surveyor or other  
630 qualified professional and submitted to the city as a part of the sign application.  
631 Except as provided in this subsection, all other requirements of section 10-376(g)  
632 pertaining to freestanding signs shall be met.

633 **Sec. 10-378 Guidelines.**

634 (a) Sign permit.

- 635 (1) General requirements. No person shall erect, alter, or relocate within the city any sign  
636 without first obtaining a sign permit as required under this ordinance. However,  
637 changing of an existing sign in accordance with all applicable regulations herein, and  
638 the repainting, changing of parts, and preventative maintenance of existing signs shall  
639 not require a sign permit.
- 640 (2) Application requirements. All applications for sign permits shall be made in writing on a  
641 form supplied by the city building inspector. Such application shall be submitted with all  
642 required information provided and shall contain or have attached thereto the following  
643 information:
- 644 a. Site Plan. The approved site plan for the subject property showing the location and  
645 dimensions of all buildings, structures, and signs on the subject property; such  
646 subject property boundaries; and the location of the proposed sign;
- 647 b. The configuration of the proposed sign listing the height, width, total square  
648 footage, setback distance from properties and back of curb, proposed copy,  
649 method of attachment, method of illumination, sign materials and colors;
- 650 c. The subject properties zoning designation;
- 651 (b) Area. The total area and number of all signs by type on the subject property both before  
652 and after the installation of the proposed sign.
- 653 (c) A copy of the common sign plan if such a plan is required under subsection 10-375(a)(6).
- 654 (d) Procedure. Upon the receipt of a complete application, the zoning administrator shall review  
655 such application for compliance with the requirements of this chapter, and shall issue an  
656 approved or denied sign permit based on the submitted application within five working days  
657 of the acceptance of the complete application or for properties requiring a common sign  
658 plan under subsection 10-375(a)(6)(b) within five working days of approval of the common  
659 sign plan, whichever is later. The building inspector shall have the right to request additional  
660 information relevant to the proper review of the sign application in accordance with this  
661 chapter.
- 662 (f) Fee. Fees are established and required as set forth in the currently adopted fee schedule at  
663 the time of permit issuance

664 **Sec. 10-379. - Signs which do not require a sign permit.**

- 665 (a) Signs are permitted in all zoning districts for the following uses and purposes without the  
666 need for a sign permit. Such signs shall not count as part of the maximum permitted sign  
667 area, maximum number of signs per lot or building, items of information and other bulk and  
668 design regulations. No sign permitted in this section shall be displayed in a manner which  
669 would otherwise cause it to be prohibited. All signs permitted in this section shall comply  
670 with other applicable codes and ordinances in regard to construction and maintenance and  
671 the following:

- 672 (1) Address and nameplates. Address and name plates not exceeding two square feet in  
673 area.
- 674 (2) Athletic scoreboards on bona fide athletic fields.
- 675 (3) Construction signs. For construction on or development of a lot, **four signs totaling no**  
676 **more than 65 square feet** in area and a maximum of eight feet in height. Construction  
677 signs shall be removed within 30 days of the completion of construction.
- 678 (4) Directional signs. Except as provided in subsection 10-376(n), directional signs are  
679 permitted for parking areas with five or more spaces provided:
- 680 a. They are located on-premises.
- 681 b. There are no more than three directional signs per lot, in addition to one per  
682 entrance/exit.
- 683 c. They are not more than five feet in height.
- 684 d. They are not more than four square feet in area.
- 685 e. Logos are limited to two square feet in area. Such logos are considered part of the  
686 overall four square foot size limitation.
- 687
- 688 (5) Flags. **Flags may only be flown from flagpoles. U.S. and the State of Wisconsin flags**  
689 **should be displayed according to flag etiquette in the United States Flag Code (4 U.S.**  
690 **C.1)** No more than three flagpoles may be erected per lot without approval under  
691 subsection 10-376(a). Additional flagpoles may be approved by the Zoning  
692 Administrator per subsection 10-376(a) for lots with more than 200 feet of frontage.
- 693 (6) For sale or for rent signs. For each lot frontage: one "for sale" or "for rent" sign, not  
694 more than 12 square feet in area. A maximum of two "for sale" or "for rent" signs no  
695 more than six square feet in area, may be located off-premises at a nearby intersection  
696 or subdivision entrance provided such signs are located on private property with the  
697 permission of the property owner.
- 698 (7) Garage sale/Estate sale signs. Garage & Estate Sale signs advertising a sale if the  
699 sign is located on private property with the permission of the property owner. Such  
700 signs shall not exceed four (4) square feet in area, shall not be posted longer than  
701 three (3) days, and **shall contain the address and phone number of the sign owner**.  
702 Garage sale signs, subject to the same size limitations, may be placed in the public  
703 right-of-way. The city reserves the right to **remove any non-conforming sign. Signs not**  
704 **removed by 5:00pm on Sunday will subject the owners to forfeiture as contained in Sec**  
705 **1-15**.
- 706 (8) Government signs. Those signs identified by the common council as municipal in  
707 nature and serve a public purpose for identification or description of municipal property,  
708 grounds, facilities, or uses as designated by common council.

- 709 (9) Home occupation **business** signs identifying only the name and occupation of the  
710 resident. Home occupation signs shall be non-illuminated, flush-mounted and shall not  
711 exceed three square feet in area.
- 712 (10) Public, charitable or religious institution signs. Such signs shall be located on the  
713 premises of the institution, shall not obstruct the vision of motorists and shall not  
714 exceed **30** square feet in area.
- 715 (11) Interior signs, provided they are not intended to be viewed from outside the building.  
716 (See subsection 10-373(a)).
- 717 (12) Memorial signs, provided they are erected by citizens on private property and do not  
718 exceed ten square feet in area and are displayed for no more than 90 days in a given  
719 calendar year. All other memorials and memorial signs are subject to plan commission  
720 approval and shall be subject to all applicable requirements as appropriate to the  
721 location and configuration of the memorial.
- 722 (13) Parking lot signs. Parking lot signs up to nine square feet in area. Such signs may  
723 indicate the location and direction of the nearest parking lot, but may not include logos,  
724 advertising or content.
- 725 (14) Political signs. Temporary political signs may be permitted for a period of not more than  
726 **45** days before and **seven** days after an election without obtaining a permit. Such signs  
727 shall not exceed **32** square feet in area, except as may be permitted by state law.  
728 Other political signs as permitted by state law without a permit may be erected on  
729 private property in the City of Portage without a permit.
- 730 (15) Regulation signs such as no trespassing, no hunting, no fishing, etc. Such signs shall  
731 not exceed three feet in area.
- 732 (16) Real estate group signs. For each group development or multitenant building  
733 containing nonresidential land uses, a maximum of two signs, one per each  
734 nonresidential street frontage, may be permitted up to a maximum of 32 square feet in  
735 area for each sign to advertise the initial sale and leasing of the premises. Real estate  
736 group signs shall be permitted only for the initial lease/sale period and shall be  
737 removed when 80 percent of the structure or lands are initially sold or leased. Signs  
738 advertising sale or lease after such time shall conform to the requirements of  
739 subsection 10-375(a)(1)(e) regarding "for sale" and "for rent" signs
- 740 (17) Real estate subdivision signs. For each real estate subdivision that has been approved  
741 in accordance with the City of Portage land division regulations, a maximum of two  
742 temporary development project identification signs are permitted to be located on some  
743 portion of the subject subdivision. Each such sign shall be not more than 32 square  
744 feet in area. One additional similar sign shall be permitted for each 100 lots in the  
745 subdivision in excess of 100 lots. These signs shall comply with the vision clearance  
746 triangle requirements. These signs shall be permitted to remain within the subject  
747 subdivision until a time at which building permits have been issued for 80 percent of

748 the lots in the subdivision. (See also subsection 10-375(a)(1)(e) regarding "for sale"  
749 and "for rent" signs).

750 (18) Special events signs do not require a permit when the special event permit has been  
751 issued, however balloons, beacons, pennants, streamers, statuary and similar signs  
752 shall be approved by the zoning administrator, with regard to safety and location.

753 (19) Utility company signs that serve as an aid to public safety or that show the location of  
754 public telephones, underground cables, etc. only to the extent necessary to accomplish  
755 those goals.

756 (20) Under-canopy signs. Under-canopy signs shall not require a permit if such signs to not  
757 exceed four square feet in area.

758 (21) Window signs and displays. Window signs shall not cover more than 50 percent of the  
759 window or a series of contiguous windows. Merchandise and pictures or models of  
760 products or services incorporated in a window display are not considered signs. Any  
761 sign placed on the outside of a window except for individual permanent letters painted  
762 directly onto the window shall be considered a wall sign.

763 (22) Murals which do not contain advertising for a current or existing organization, business,  
764 service or product.

#### 765 **Sec. 10-380. - Abandonment of business signs.**

766 (a) Removal of abandoned signs. All abandoned signs and all associated structural sign  
767 supports shall be removed and the grass or pavement restored by the owner of the  
768 property within 30 days from the date the sign is deemed by the zoning administrator to be  
769 abandoned.

770 (b) Extension of deadline for removal. If the property owner demonstrates to the satisfaction of  
771 the zoning administrator through documentary evidence that an imminent sale or lease of  
772 the property is pending, the zoning administrator may stay the finding of abandonment and  
773 may extend the time for removing the sign and related structures for a period up to 90 days.

#### 774 **Sec. 10-381. - Nonconforming signs.**

775 (a) Intent. This ordinance is intended to encourage the eventual elimination of Signs which do  
776 not comply with the ordinance. The elimination of Non-conforming Signs is important to the  
777 purpose of this ordinance; however, it is also the intent of this Ordinance to avoid  
778 unreasonable invasion of property rights while accomplishing removal of Non-conforming  
779 Signs.

780 (b) Continuance. A Non-conforming Sign may be continued if it is maintained in good  
781 condition. It may not be replaced, unless in compliance with the regulations contained  
782 within this Ordinance. It shall not, however, be replaced by another Non-conforming Sign. It  
783 may not be structurally altered so as to prolong the life of the Sign. It may not be re-  
784 established after deterioration, damage or destruction if the Zoning Administrator

785 determines such replacement cost shall exceed fifty percent (50%) of the original cost of  
786 the sign. For a Non-conforming sign to continue after the effective date of this Ordinance,  
787 the sign must remain substantially the same. Reasonable repair and maintenance of the  
788 sign, including a change of copy message, would not terminate non-conforming rights.  
789 Non-conforming signs destroyed due to vandalism and other criminal or tortious acts, not  
790 connected with the property owner may be replaced in-kind.  
791 (c) Nuisance. An unsafe or Abandoned Sign is declared a public nuisance, which shall be  
792 abated by the Owner within sixty (60) days of receiving notice from the Zoning  
793 Administrator.

#### 794 **Sec 10-382. Variance Requests**

795 Appeals to the requirements of this ordinance or the determination of the Zoning  
796 Administrator may be made by application to the Zoning Board of Appeals per Sections 90-  
797 478 and 90-480.

#### 798 **Sec. 10-383. - Enforcement and penalties.**

799 All signs constructed or maintained in violation of any of the provisions of this chapter are  
800 hereby declared public nuisances. In addition to all other remedies provided in this chapter,  
801 the building inspector may bring an action to abate the nuisance in the manner set forth in  
802 the Wisconsin Statutes.